

VICINITY MAP

PROPERTY OWNER:

JMH
STREET ADDRESS:
4256 89th Ave SE
PARCEL #
019110-0225

ZONING R-9.6

45

REAR YARD 25'

SIDE YARD - 5'/15'

HEIGHT LIMIT

30' above average existing ground elevation to peak of roof

Lot Coverage

Maximum 40% of net lot area

Gross Floor Area

Maximum 40% of net lot area

LEGAL DESCRIPTION.

Lot 13, Block 3 Allview Heights Addition to Seattle, according to the plat recorded in Volume 16 of Plats, Page 20, in King County, Washington

Together with the West half of that portion of vacated alley adjoining said lot on the East.

Situated in the County of King, State of Washington

Issue	Issue Date	By	Description

JMH
4526 89th Ave SE
BELLEVEUE, WA.
Job Number: **MIS077**

plan name: -
marketing name: XXXXXX
plan number:
mark sys. number: -

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC) or those of the local municipality then the current standards and requirements of each respectively shall govern.

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11.20.2025
Submission Date

Sheet Title/Description
JAYMARC HOMES
Design Firm

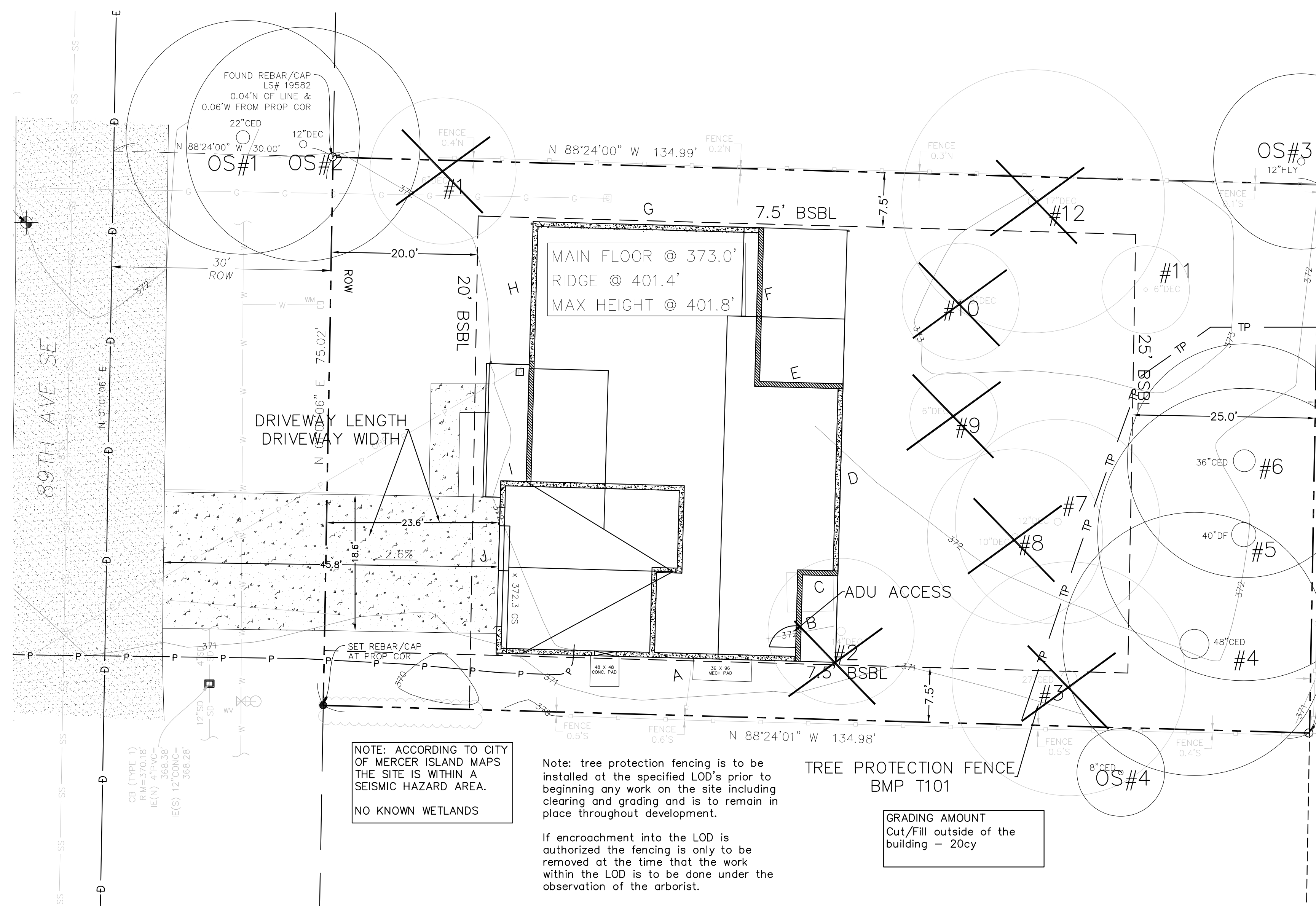
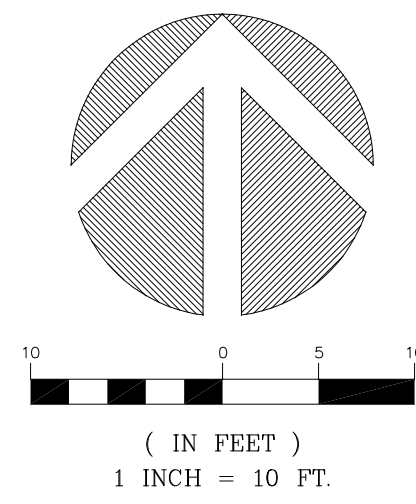
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SK
Checked by:

Primary Scale

A2

of .



NOTE: ACCORDING TO CITY OF MERCER ISLAND MAPS THE SITE IS WITHIN A SEISMIC HAZARD AREA.
NO KNOWN WETLANDS

Note: tree protection fencing is to be installed at the specified LOD's prior to beginning any work on the site including clearing and grading and is to remain in place throughout development.

If encroachment into the LOD is authorized the fencing is only to be removed at the time that the work within the LOD is to be done under the observation of the arborist.

TREE PROTECTION FENCE
BMP T101

GRADING AMOUNT
Cut/Fill outside of the building - 20cy

HEIGHT TABLE							
Loc.	El:	Length	Product	Loc.	El:	Length	Product
A	371.0	40.3	14,951				
B	372.3	12.4	4,617				
C	372.5	5.5	2,049				
D	371.9	25.5	9,483				
E	372.1	11.3	4,205				
F	372.1	21	7,814				
G	372.2	31.5	11,724				
H	372.0	35.4	13,169				
I	372.0	3.1	1,153				
J	371.8	23.6	8,774				
K							
L							
Sub Totals		209.6	77,940			0	
		Total Length	210			Total Products	77,940
ABE = Product/Length				ABE			371.8
Maximum Height			30				
Maximum Elevation			401.8				
Proposed Ridge Height			401.4				

GROSS FLOOR AREA	
Main Floor/Main Living	1,803 sf
ADU - Removed, SF incl above	0 sf
Main Floor Garage	525 sf
Total Main Floor	2,328 sf
Second Floor	2,321 sf
Second Floor Stair Deduction (169) sf	
Total Second Floor	2,152 sf
Total GFA	4,480 sf
Allowable GFA 40%	5,631 sf
Proposed %	31.82%

LOT COVERAGE	
Lot Area	10,126
Allowed	40%
Allowed sf	4,050
Existing	
Eaves	2,886
Driveway	283
Total Existing	3,169
Existing Removed	3,169
New	
Eave Area	2,717
Driveway	438
Cov'd Patio	incl above
New sf	3,155
Total	
Total New and Existing	(14)
	% 31.2%

Hardscape	
Lot Area	10,126
EXISTING	
Uncovered Patios	314
Walkways	55
Total Existing	369
Existing Removed	369
Net Existing Retained	0
NEW	
Walkways	76
Uncovered Patio	0
Stoop and Compressors	40
Total New	116
Total New and Existing	116
Total Hardscape	1.15%

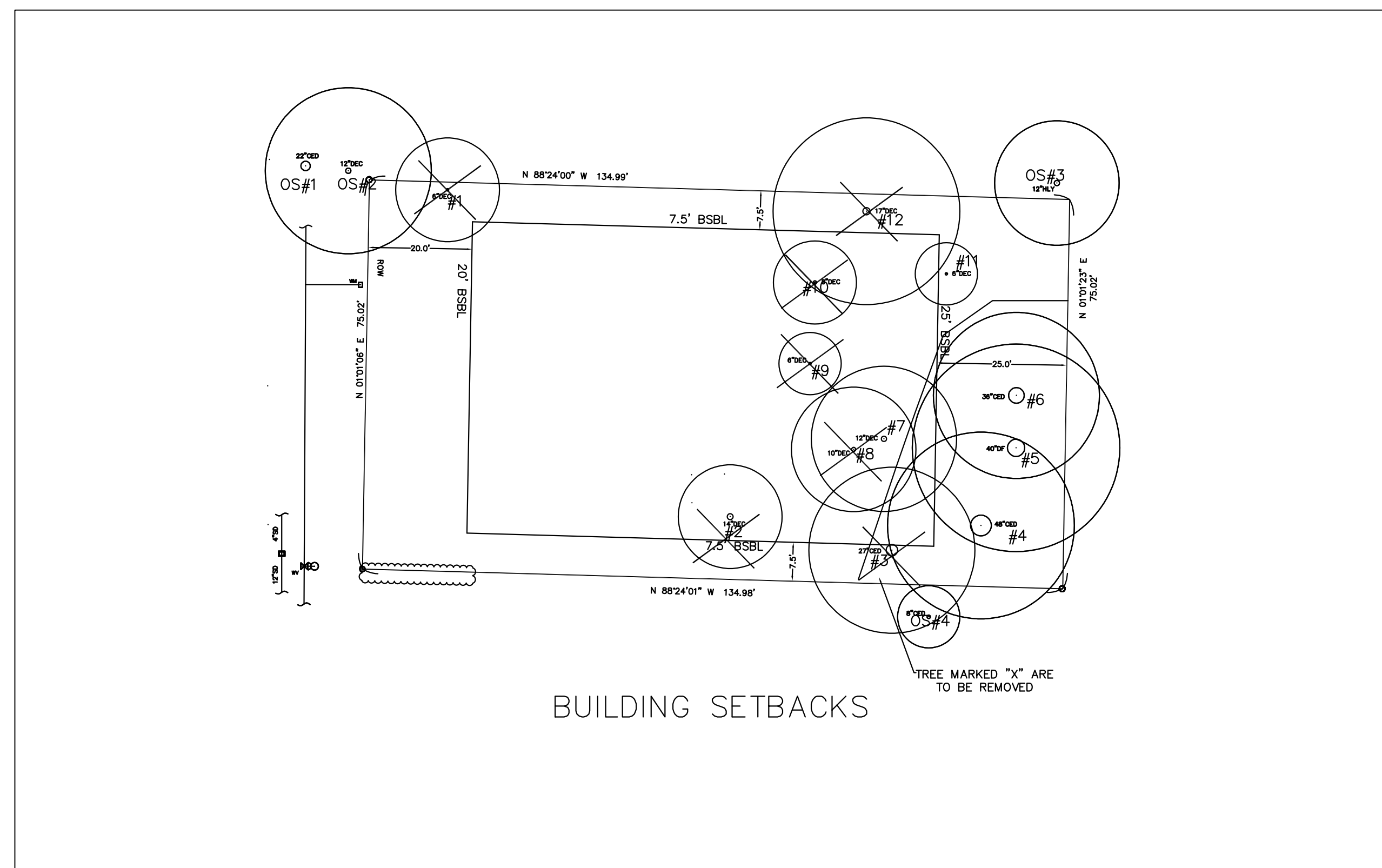
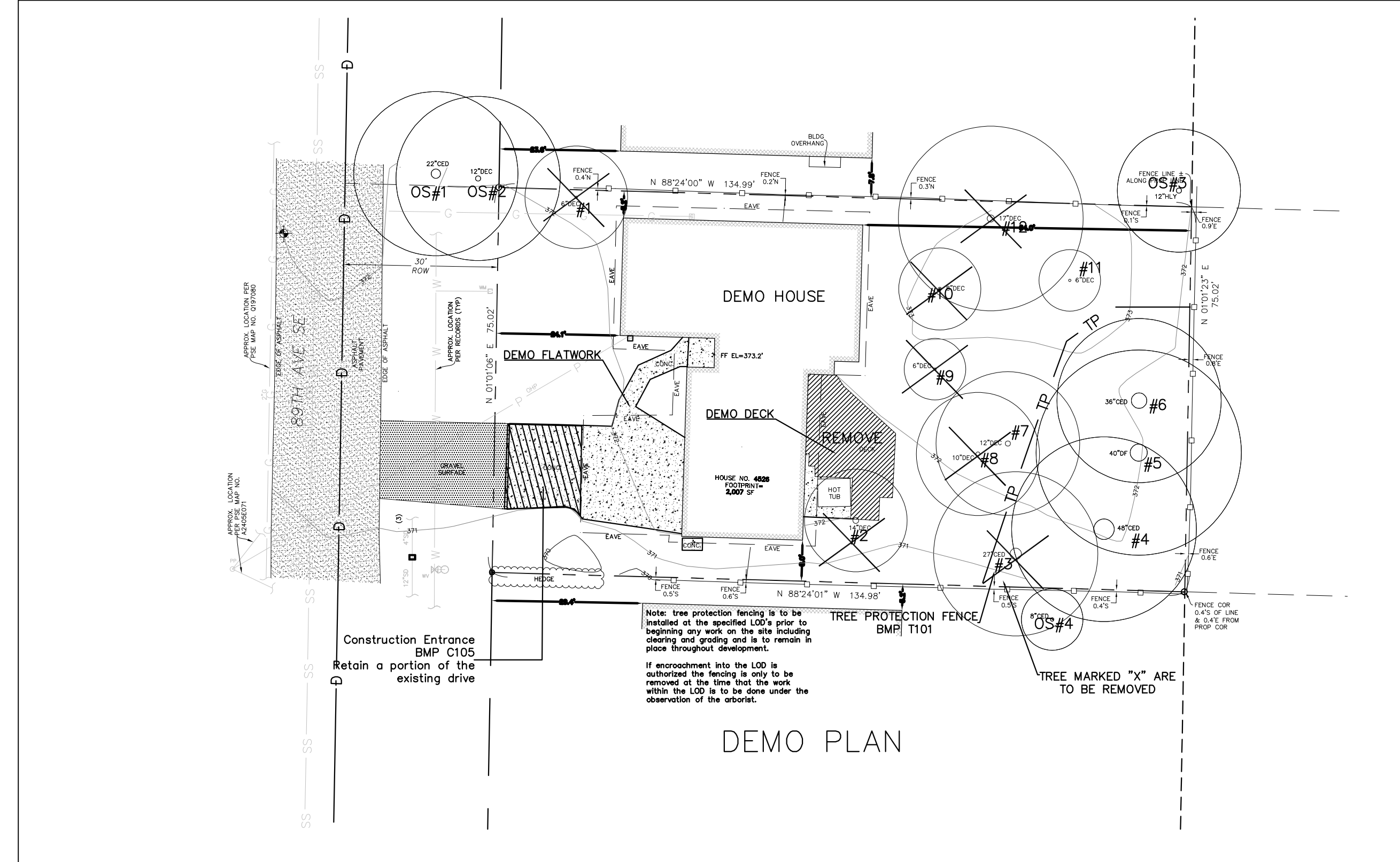
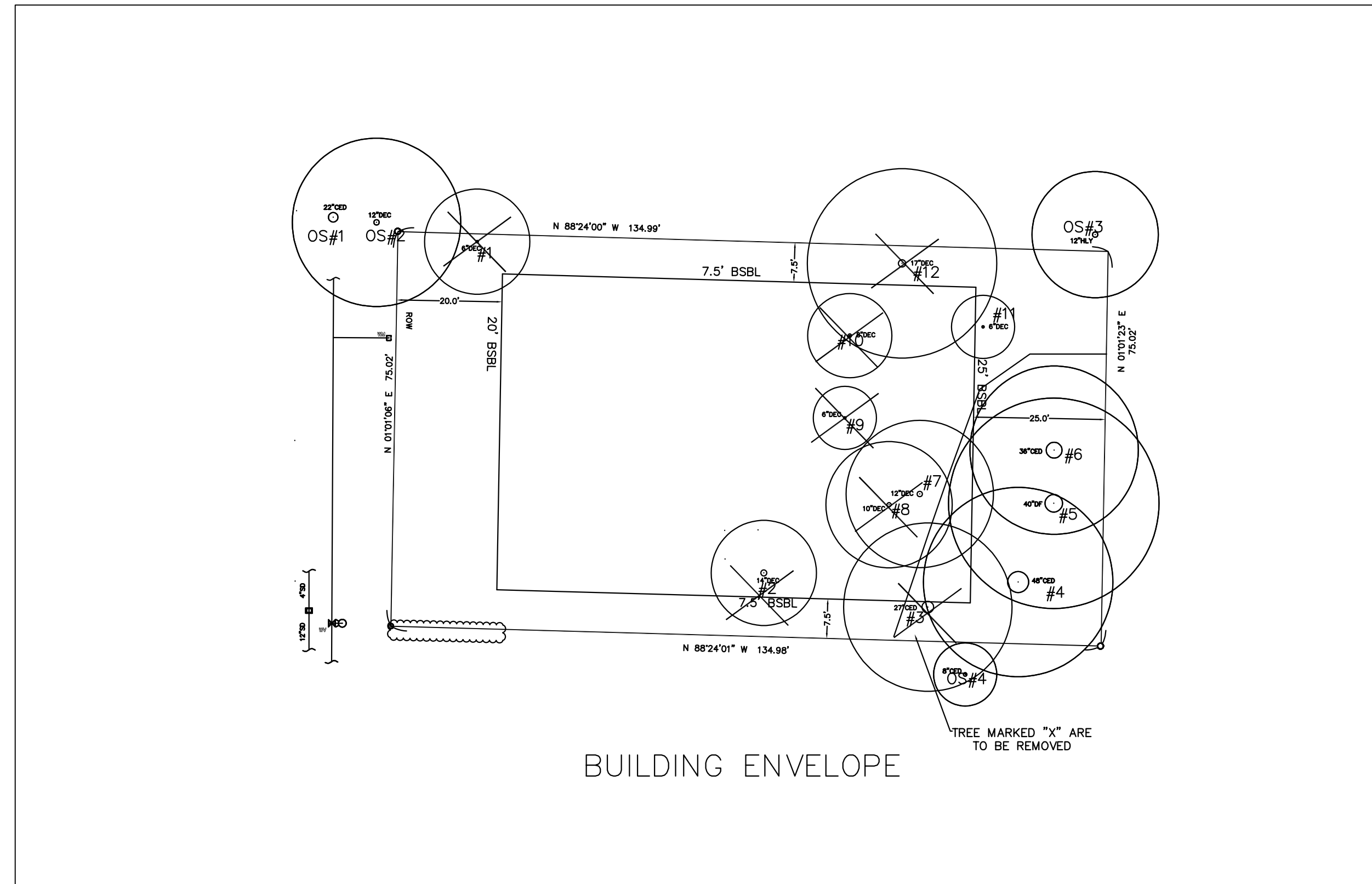
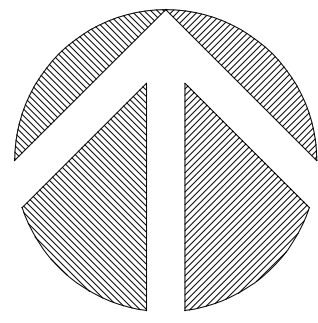
LOT SLOPE CALCULATION	
High Point El:	373.6 ft
Low Point El:	369.6 ft
Elevation Difference	4 ft
Distance	112.412 ft
% Slope	3.6%

PARKING	
Covered	2 ea.
Driveway	2 ea.

SITE PLAN & TESCP

Scale 1" = 10'

Sheet Title/Description



D E M O P L A N
1" = 20'

JM
JAYMARC
HOMES

7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

Issue	Issue Date	By	Description

JMH
4526 89th Ave SE
BELLEVEUE, WA.
Job Number: **MIS077**

plan name: -
marketing name: XXXXXX
plan number:
mark sys. number:--

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10.06.2025
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Sheet Title/Description
JAYMARC HOMES
Design Firm

PO
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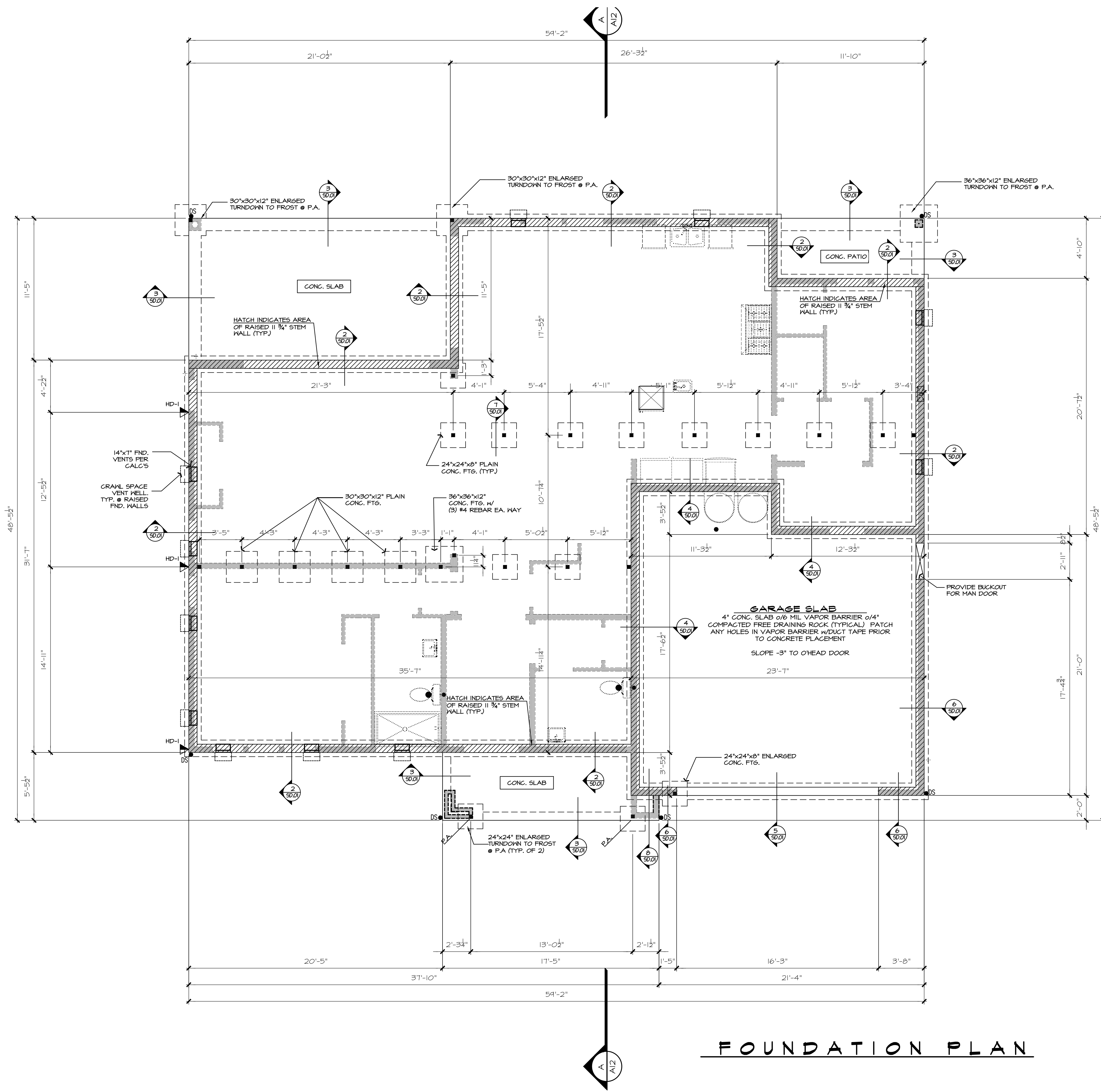
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Primary Scale

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Sheet Title/Description



FOUNDATION PLAN

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
HD-1	SIMPSON STHD14 (R.J) HOLD-DOWN
HD-5	SIMPSON CS16 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON M5TC40 STRAP TIE (12" END LENGTH)
HD-7	SIMPSON M5TC66 STRAP TIE (24" END LENGTH)

LEGEND	
•	INTERIOR BEARING WALL
•	EXTERIOR WALL ABOVE
JL	METAL HANGER
*	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▶	INDICATES HOLD-DOWN.

4x10 DROPPED CONT. BEAM (TYP. U.N.O.)

TYP. CRAWLSPACE POSTS:
 4x4 D.F. POST (4'-0" MAX. POST HEIGHT)
 W/2x4 CLEATS EA. SIDE + SIMPSON ABW44Z PLATE @ BASE OF POST ON ASPHALT SHINGLE ON 24"x24"x8" PLAIN CONC. FTG. (TYP. U.N.O.)

REFER TO S-O.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES


JAYMARC HOMES
 7525 SE 24th St., 487
 Mercer Island, WA
 98040
 425.266.9100

Issue	Issue Date	By	Description

4526 89th AVE SE
MERCER ISLAND, WA.
 Job Number: **MIS077**

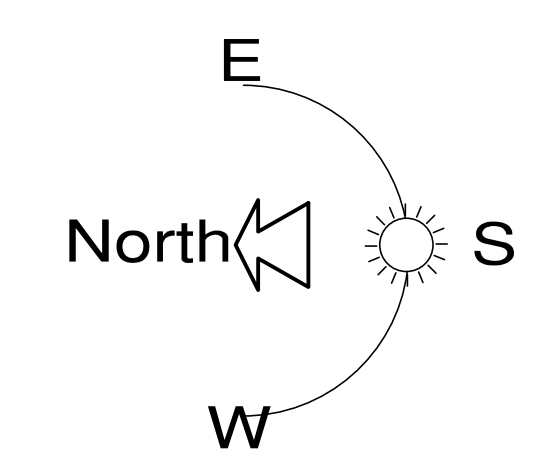
plan name: -
 marketing name: MARCELLO
 plan number: MIS077
 mark sys. number: -

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09.29.25
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Sheet Title/Description
 JAYMARC HOMES
 Design Firm
 R.R.
 Drawn by:
 R.R./ S.K.
 Checked by:
 Primary Scale

A3
 of .



Sheet Title/Description

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
HD-1	SIMPSON STHD14 (R.J) HOLD-DOWN
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HD-6	SIMPSON MSTC40 STRAP TIE (12" END LENGTH)
HD-7	SIMPSON MSTC66 STRAP TIE (24" END LENGTH)

LEGEND	
	J.L. METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	▶ INDICATES HOLDDOWN.

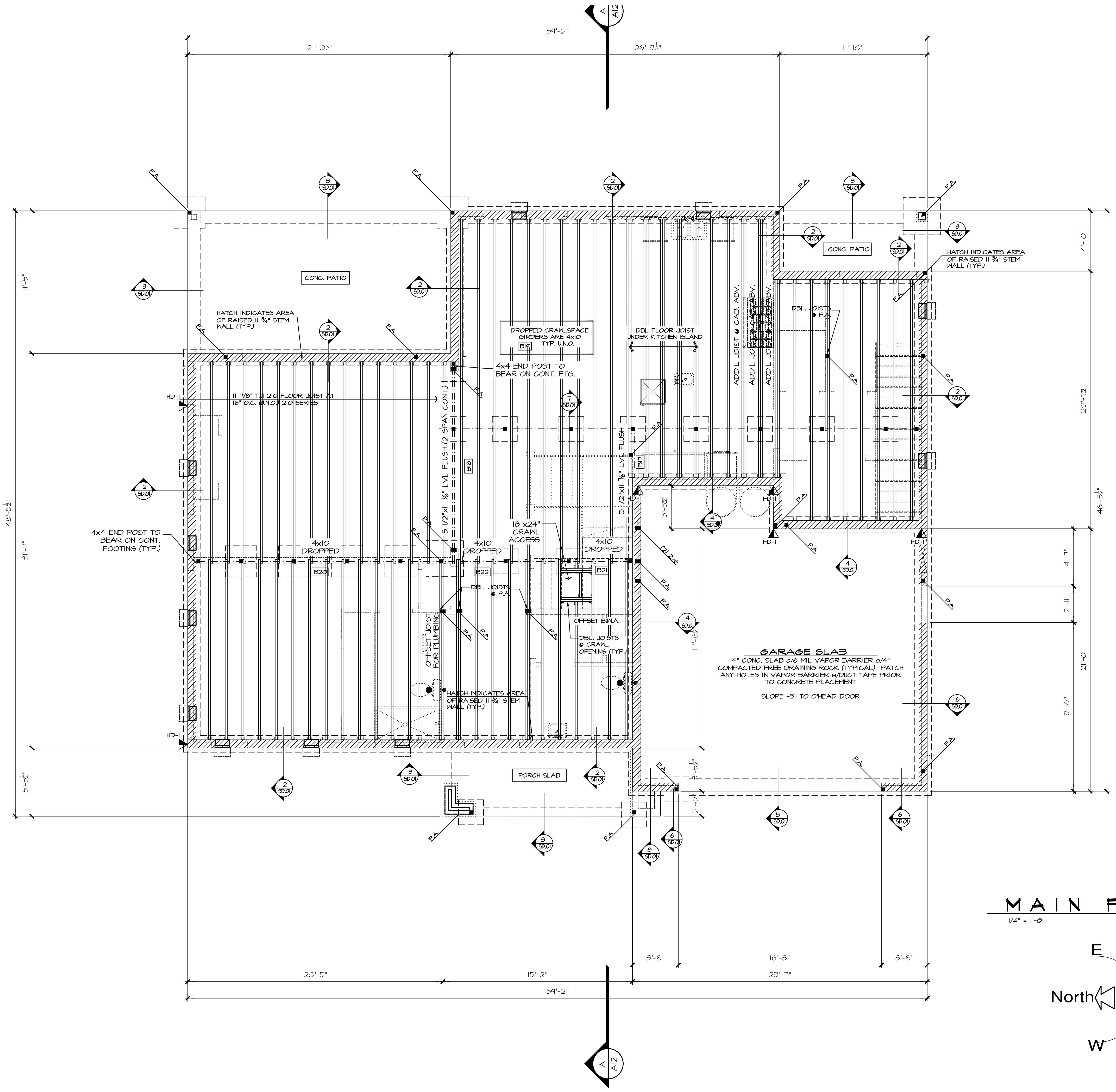
INDICATES 11-7/8" TJI FLOOR JOISTS @ 16" O.C. 210 SERIES (TYP. U.N.O.)

REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

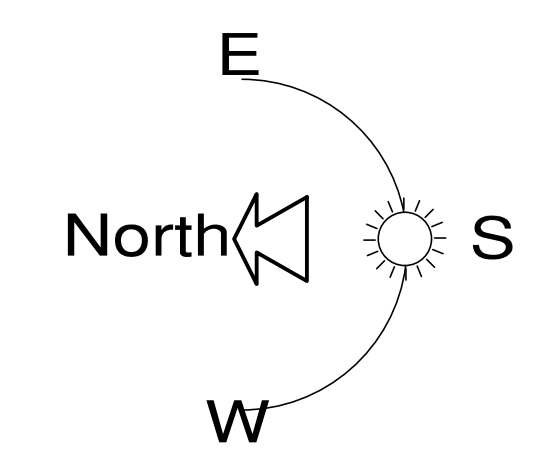
4x10 DROPPED CONT. BEAM (TYP. U.N.O.)

TYP. CRAWLSPACE POSTS:
4x4 D.F. POST (4'-0" MAX. POST HEIGHT) W/2x4 CLEATS EA. SIDE + SIMPSON ABW44Z PLATE @ BASE OF POST ON ASPHALT SHINGLE ON 24"x24"x8" PLAIN CONG. FTG. (TYP. U.N.O.)

FOUNDATION VENTILATION			
Crawlspace Area:	1821 s.f.		
Ventilation Required:	1821 s.f. / 300 =	874.08 s.i. Req'd	
Use:	14" x 7" Foundation Vents		
Vent Area =	98 s.i. - 25% reduct., 1/4" mesh =	73.5 s.i.	
Vents Required =	874.08 s.i. / Vent Area =	11.89 s.i.	
Provide:	12 14" x 7" Vents, Area =	882 s.i.	
Ventilation Provided =	882.00 s.i. is Greater than	874.08 s.i. Req'd	
Use:	12 14" x 7" Foundation Vents		
* FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS			
* INSTALL 6 MIL BLACK POLYETHYLENE VAPOR RETARDER GROUND COVER			
* LOCATE ONE VENT WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTS.			



MAIN FLOOR FRAMING PLAN
1/4" = 1'-0"



Sheet Title/Description



7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

4526 89th AVE SE
MERCER ISLAND, WA.
Job Number:
MIS077

plan name: -
marketing name: MARCELLO
plan number: MIS077
mark sys. number: -

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09.29.25
Submission Date

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JAYMARC HOMES
Design Firm

R.R.
Drawn by:

R.R./S.K.
Checked by:

Primary Scale

A5
of .

MAIN FLOOR PLAN NOTES

PLAN SPECIFIC 2021 WSEC-R SECTION 406.3 R406.3 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS. EACH DWELLING UNIT IN A RESIDENTIAL BUILDING SHALL COMPLY W/ SUFFICIENT OPTIONS FROM TABLES R406.2 AND R406.3 SO AS TO ACHIEVE THE FOLLOWING MIN. NUMBER OF CREDITS:
2. MEDIUM DWELLING UNIT---8 CREDITS FOR A 1,501 TO 4,994 SF OR LESS.
CREDITS PROVIDED IN THIS HOME AS FOLLOWS:

FUEL NORMALIZATION CREDIT: 3.0 CREDITS

HIGH EFFICIENCY HVAC EQUIPMENT OPT. 3.6: 0.5 CREDITS

AIR-SOURCE DUCTED HEAT PUMP W/ MIN. HSPF2 OF 10 (HSPF OF 11) IF HEATING DESIGN TEMP IS 23F OR BELOW, A COLD CLIMATE VARIABLE CAPACITY HEAT PUMP IS REQUIRED.

EFFICIENT WATER HEATING 5.6: 2.0 CREDITS
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR THEIR III OF NEEA'S ADVANCED WATER HEATING SPECIFICATIONS.

RENEWABLE ELECTRIC ENERGY 6.1: 2.0 CREDITS
FOR EACH 600KWH OF ELECTRICAL GENERATION PER HOUSING UNIT PROVIDED ANNUALLY BY ON-SITE WIND OR SOLAR EQUIPMENT A .5 CREDIT SHALL BE ALLOWED, UP TO 4.5 CREDITS. GENERATION SHALL BE CALCULATED AS FOLLOWS:

FOR SOLAR ELECTRIC SYSTEMS, THE DESIGN SHALL BE DEMONSTRATED TO MEET THIS REQUIREMENT USING THE NATIONAL RENEWABLE LABORATORY CALCULATOR PYMATT5 OR ALTERNATIVE APPROVED BY THE CODE OFFICIAL. DOCUMENTATION NOTING SOLAR ACCESS SHALL BE INCLUDED ON THE PLANS.

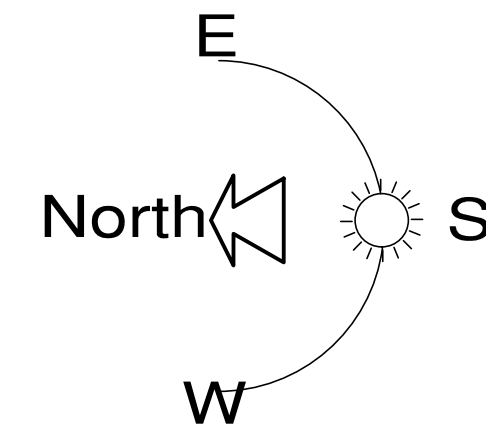
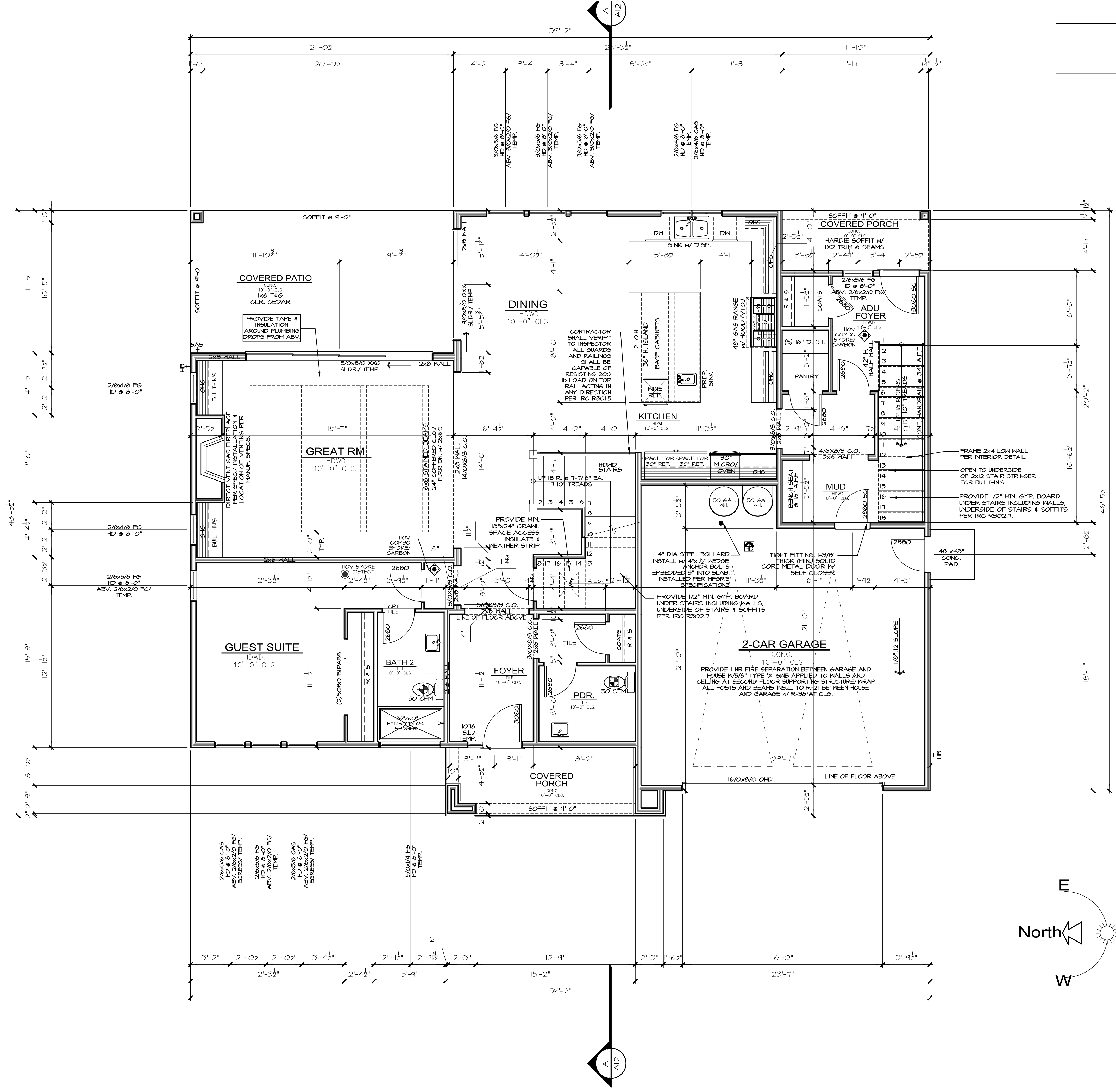
WHOLE HOUSE VENTILATION
PROVIDE WHOLE HOUSE VENTILATION per 2018 IRC, M1505.4.3(1) and IMC R403.3. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(1) OR EQUATION 15.

SYMBOL	LOCATION	MIN. FAN REQUIREMENTS (ALL FANS VENT TO OUTSIDE)
	BATH 4	Min. 50cfm, INTERMITTENT at .025mg per TABLE M1507.4
	KITCHEN	Min. 100cfm, INTERMITTENT at .025mg per TBL. M1507.4
	LAUNDRY ROOM	MIN. 36cfm, INTERMITTENT at .025mg TO FUNCTION AS WHOLE HOUSE FAN (WHF)

MECHANICAL CONTRACTOR TO SIZE WHF, FAN AND SET OPERATING TIMER per TABLE M1507.3(1) FOR A 4,501-5,000SF DWELLING W/ 5 OR MORE BEDRMS. TO OPERATE INTERMITTENTLY AND CONTINUOUSLY per TABLE M1507.3(2)
PROVIDE CONTROLS FOR WHF per M1507.3.2 AFFIX LABEL TO CONTROLS THAT READS "WHOLE HOUSE VENTILATION - SEE OPERATING INSTRUCTIONS"

MAIN FLOOR PLAN

1/4" = 1'-0"



F.A.R. CALCULATIONS:

SQUARE FOOTAGE SUMMARY	
MAIN FLOOR/ MAIN LIVING	1,664 S.F.
MAIN FLOOR A.D.J.	134 S.F.
GARAGE	525 S.F.
SUB TOTAL	2,323 S.F.
UPPER FLOOR/ MAIN LIVING	1,636 S.F.
UPPER FLOOR A.D.J.	685 S.F.
MINUS A.D.J. STAIRS	-54 S.F.
MINUS MAIN STAIRS	-100 S.F.
SUB TOTAL	2,167 S.F.
TOTAL G.F.A.	4,490 S.F.
ALLOWABLE F.A.R. 45%	4,500 S.F.
PROPOSED	34,498
TOTAL NET AREA MAIN HOUSE	3,200 S.F.
GARAGE	525 S.F.
TOTAL NET A.D.J.	765 S.F.
SUB TOTAL	4,490 S.F.
COVD PATIO	240 S.F.
COVD PORCH	87 S.F.
OVERALL WIDTH	54'-2"
OVERALL DEPTH	48'-5 1/2"

Updated: 03/01/2018
Method for Calculating Square Footage - ANSI Z190-2018 (except, no separate distinction of above-grade or below-grade areas and each level is measured to the outside of studs not the exterior finished surface.)
Square Footage calculations for this house were made based on plan dimensions only and may vary from the finished square footage of the house as built.
See Sheet "CODES" for additional Zoning required Area Calculations.

Sheet Title/Description

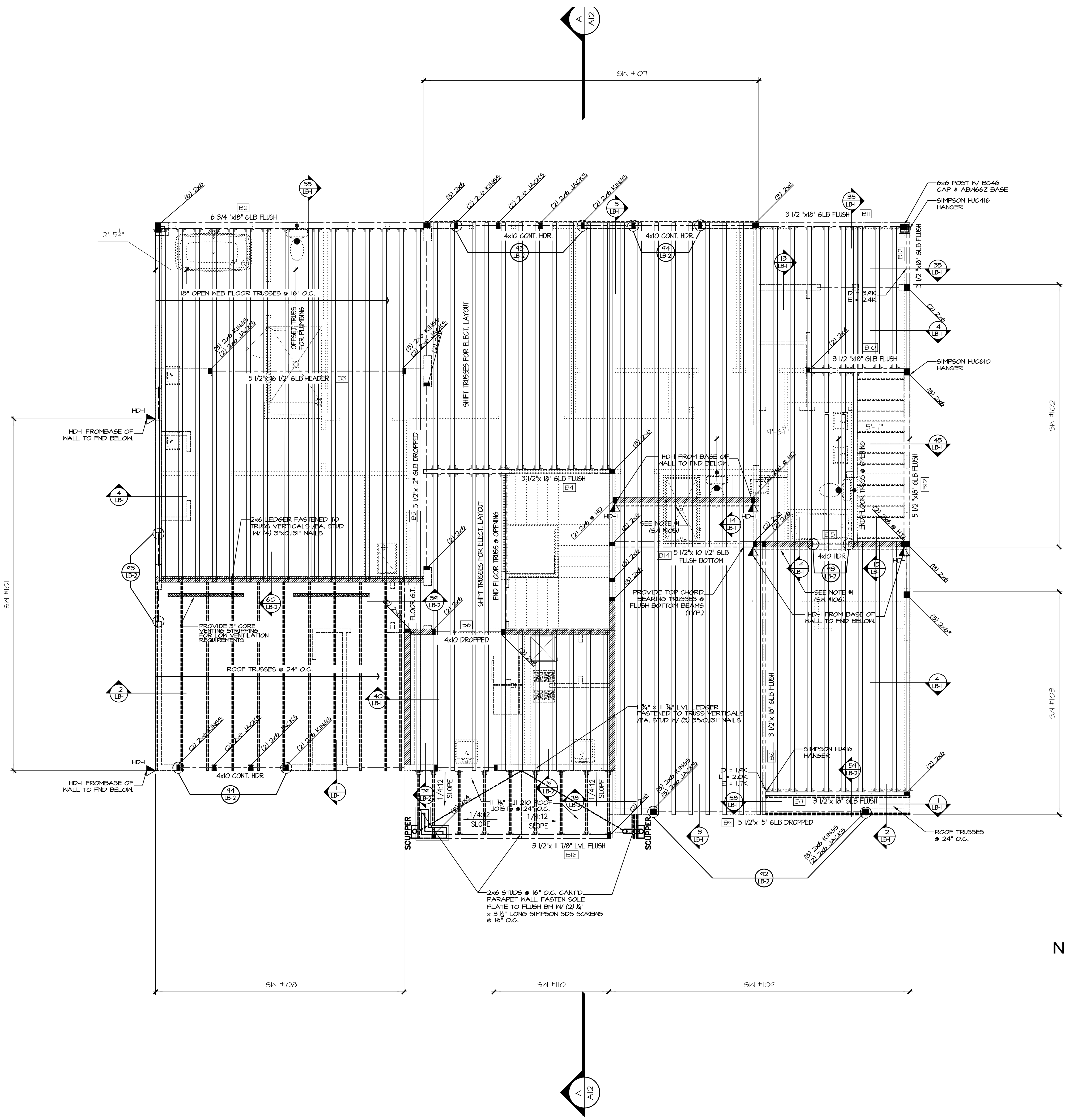
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SYMBOL	SPECIFICATION
HD-1	SIMPSON 5THD14 (R.L.) HOLD-DOWN
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HD-6	SIMPSON MSTC40 STRAP TIE (12" END LENGTH)
HD-7	SIMPSON MSTC66 STRAP TIE (24" END LENGTH)

LEGEND	
	INTERIOR BEARING WALL
	BEAM / HEADER
	18" FLOOR TRUSS @ 16" O.C. (U.N.O.)
	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" O.C. EDGE NAILING
	J.L. METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	◀ INDICATES HOLD-DOWN.

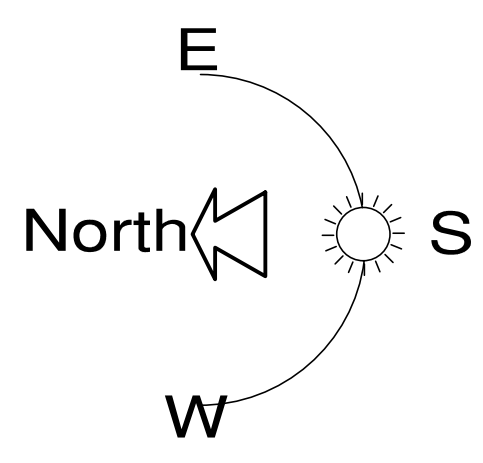
REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

4x10 HDR @ ALL EXT. [B]
WINDOWS/DOORS (TYP. U.N.O.)

NOTE #1:
PROVIDE 1/8" OSB/PLYWOOD SHTG. + FASTEN PER 3" O.C. EDGE NAILING SPECS. (SEE NOTES)



UPPER FLOOR & LOWER ROOF FRAMING PLAN
1/4" = 1'-0"



Sheet Title/Description



7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

Issue Issue Date By
Description

4526 89th AVE SE
MERCER ISLAND, WA.
Job Number:
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plan name: -
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Design Firm

R.R.
Drawn by:

R.R./S.K.
Checked by:

Primary Scale

A7
of .

UPPER FLOOR PLAN NOTES:

PLAN SPECIFIC 2021 WSEC-R SECTION 406.3
R406.3 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS.
EACH DWELLING UNIT IN A RESIDENTIAL BUILDING SHALL COMPLY W/ SUFFICIENT OPTIONS FROM TABLES R406.2 AND R406.3 SO AS TO ACHIEVE THE FOLLOWING MIN. NUMBER OF CREDITS:
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HIGH EFFICIENCY HVAC EQUIPMENT OPT. 3.6: 0.5 CREDITS

AIR-SOURCE DUCTED HEAT PUMP W/ MIN. HSPF2 OF 10 (HSPF OF 11) IF HEATING DESIGN TEMP IS 23F OR BELOW, A COLD CLIMATE VARIABLE CAPACITY HEAT PUMP IS REQUIRED.

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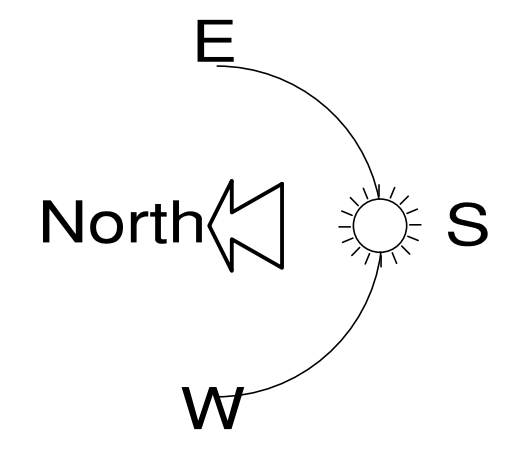
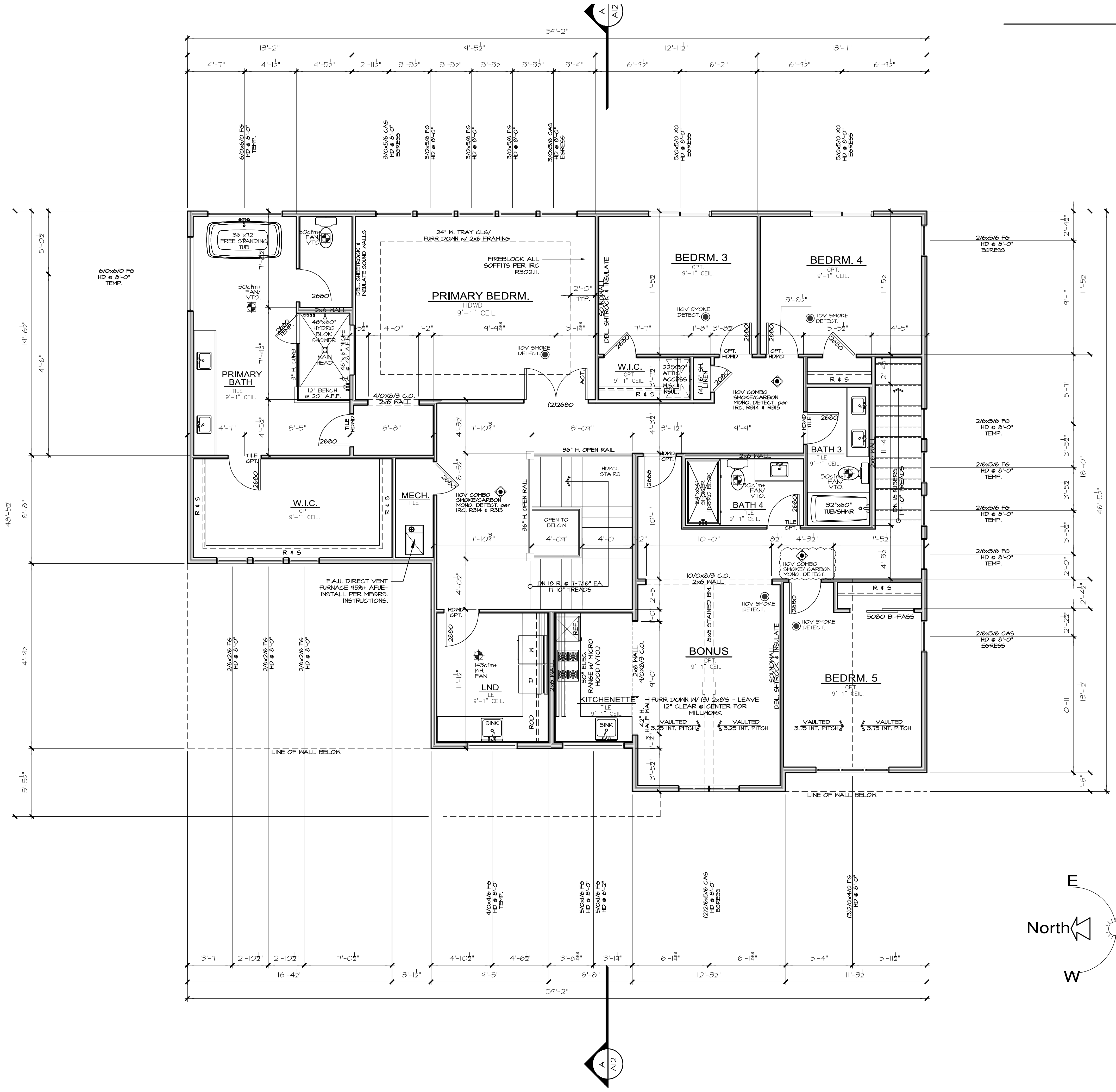
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WHOLE HOUSE VENTILATION
PROVIDE WHOLE HOUSE VENTILATION per 2018 IRC, M505.4.3(1) and IMC R403.8. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE M505.4.3(1) OR EQUATION 15.

SYMBOL	LOCATION	MIN. FAN REQUIREMENTS (ALL FANS VENT TO OUTSIDE)
	BATH #1	Min. 50cfm, INTERMITTENT at .025mg per TABLE M507.4
	KITCHEN	Min. 100cfm, INTERMITTENT at .025mg per TBL. M507.4
	RANGE HOOD	RANGE HOOD OR DOWN DRAFT EXHAUST FAN RATED AT MIN. 100CFM, OR EQUIV. MAY BE USED FOR EXHAUST FAN REQ. EXHAUST HOODS IN EXCESS OF 400CFM SHALL BE INTERLOCKED AND PROVIDE MAKE UP AIR per M505.4
	LAUNDRY ROOM	Min. 360cfm, INTERMITTENT at .025mg TO FUNCTION AS WHOLE HOUSE FAN (WHF)
MECHANICAL CONTRACTOR TO SIZE WHF, FAN AND SET OPERATING TIMER per TABLE M507.3(5) FOR A 4501-5000sf DWELLING w/ 5 OR MORE BEDRMS. TO OPERATE INTERMITTENTLY AND CONTINUOUSLY per TABLE M507.3(2)		
PROVIDE CONTROLS FOR WHF, per M507.3.2 AFFIX LABEL TO CONTROLS THAT READS "WHOLE HOUSE VENTILATION - SEE OPERATING INSTRUCTIONS"		

UPPER FLOOR PLAN

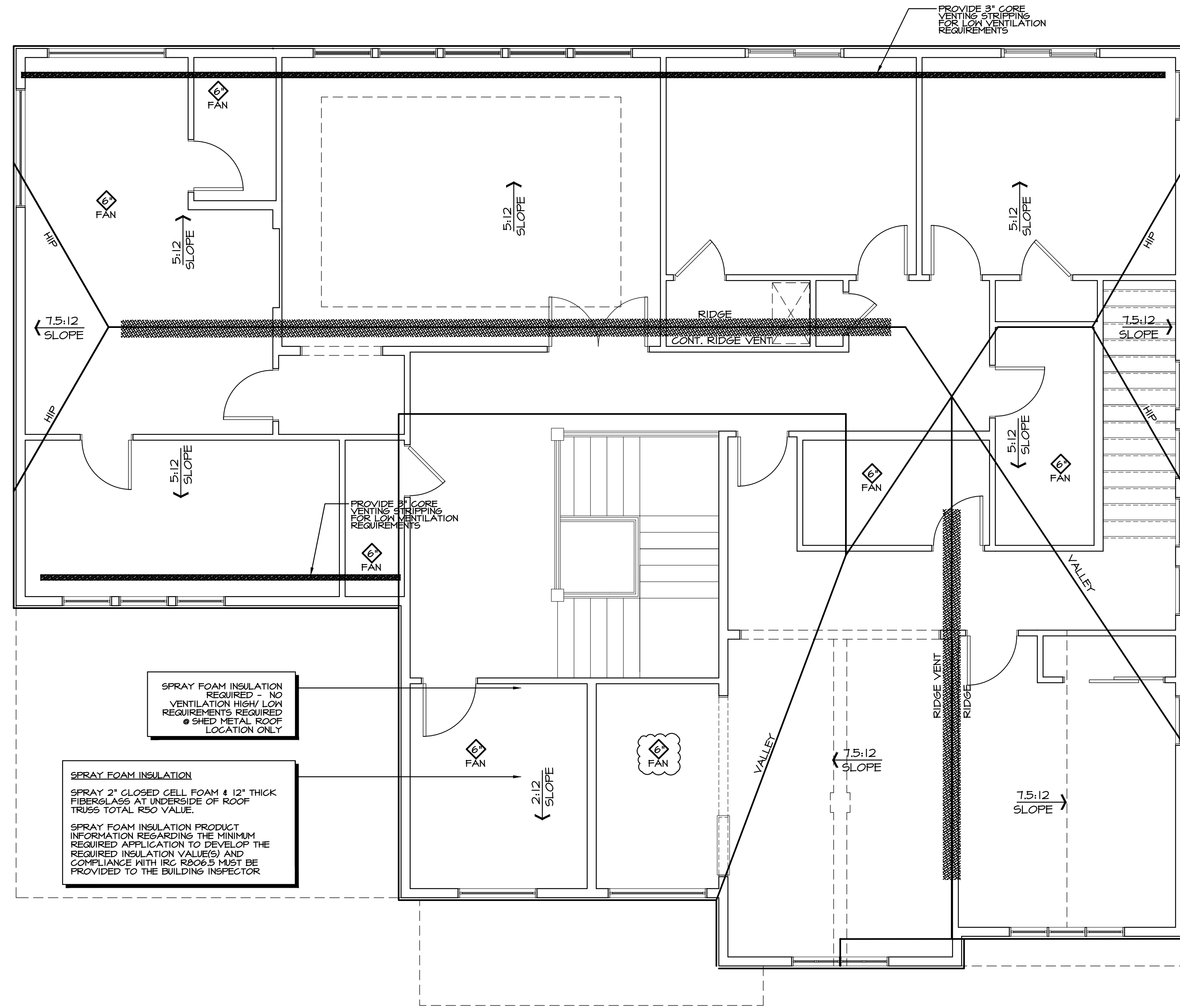
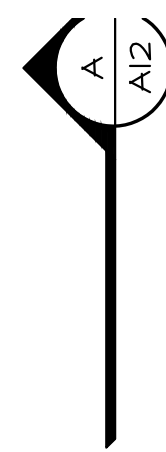
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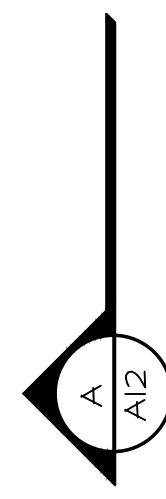
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MAIN FLOOR A.D.U.	134 S.F.
GARAGE	525 S.F.
SUB TOTAL	2,328 S.F.
UPPER FLOOR/ MAIN LIVING	1,636 S.F.
UPPER FLOOR A.D.U.	685 S.F.
MINUS A.D.U. STAIRS	-59 S.F.
MINUS MAIN STAIRS	-100 S.F.
SUB TOTAL	2,162 S.F.
TOTAL G.F.A.	4,490 S.F.
ALLOWABLE F.A.R. 45%	4,500 S.F.
PROPOSED	39.4%
TOTAL NET AREA MAIN HOUSE	3,200 S.F.
GARAGE	525 S.F.
TOTAL NET A.D.U.	765 S.F.
SUB TOTAL	4,490 S.F.
COVID PATIO	240 S.F.
COVID PORCH	87 S.F.
OVERALL WIDTH	54'-2"
OVERALL DEPTH	48'-5 1/2"
Updated: 03/09/2018	
Method for Calculating Square Footage - ANSI Z765-2013 except no separate distinction of "above-grade or below-grade" areas and each level is measured to the outside of studs not the exterior finished surface.	
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Sheet Title/Description



ROOF PLAN
1/4" = 1'-0"



ROOF VENTILATION		ZONE 1
Standard Truss / Scissor Truss Roof Framing Assembly:		
Roof Area :	2182 s.f.	
Ventilation Required:	2182 s.f. x 144 s.i. / s.f. / 300 =	1047.4 s.i. Req'd
Provide between 40% & 50% of the total required ventilation no more than 3 ft below the ridge or the highest point of the space. Remainder to be installed at eave vents.		
Ridge Ventilation: 50% of ventilation		523.68
Continuous Ridge Vent =		18.00 s.i. per l.f.
Upper Ventilation MIN. Req'd =	523.68 s.i. x 0.4 / s.i. per linear foot =	24 l.f.
Upper Ventilation MAX. Req'd =	523.68 s.i. x 0.5 / s.i. per linear foot =	29 l.f.
Provide:	28 l.f. ridge vent. Ventilation =	504.00 s.i.
Ventilation area remainder for AF50 vents =		19.68 s.i.
Upper Roof Ventilation: as needed to achieve 50% of ventilation		
AF50 Roof Jack (10" x 7") =		50.00 s.i. each.
Upper Ventilation Req'd TO GET 50% =	19.68 s.i. / s.i. of each vent =	1 vent
Provide:	0 -10"x7" roof jacks. Ventilation =	0.00 s.i.
Eave Ventilation:		
Birdblocking: (3/2" dia holes per bay =	4.71 s.i. / l.f. - 25% reduction =	3.53 s.i. / l.f.
Eave Ventilation Req'd =	523.68 s.i. / s.i. per l.f. =	19.68 l.f.
Provide Minimum:	214 l.f. birdblocking. Ventilation =	755.96 s.i.
Minimum Ventilation Provided =	1259.96 s.i. IS GREATER THAN :	1047.4 s.i. Req'd

JM
JAYMARC
HOMES

7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

Issue	Issue Date	By	Description
△			

4526 89th AVE SE
MERCER ISLAND, WA.
Job Number:
MIS077

plan name: -
marketing name: MARCELLO
plan number: MIS077
mark sys. number: -

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Submittal Date

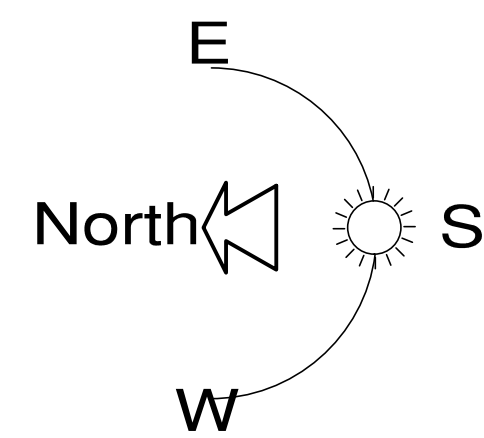
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Design Firm

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R.R./S.K.
Checked by:

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Sheet Title/Description

LEGEND

- INTERIOR BEARING WALL
- BEAM / HEADER
- ROOF TRUSS @ 24" O.C. (U.N.O.)
- GIRDER TRUSS
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING
- J.L. METAL HANGER
- INDICATES OVER FRAMED TRUSS AREA

REFER TO 5-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

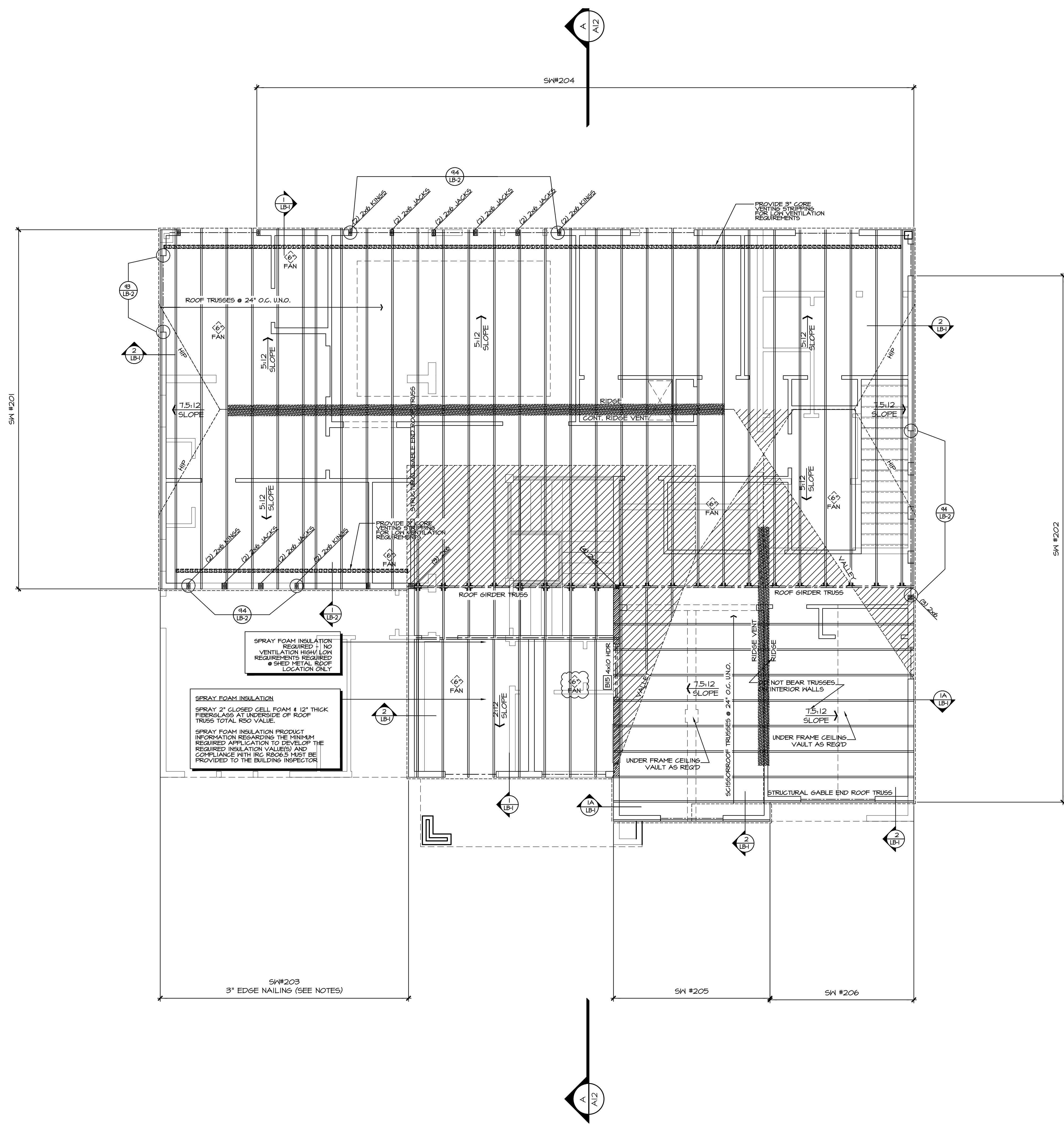
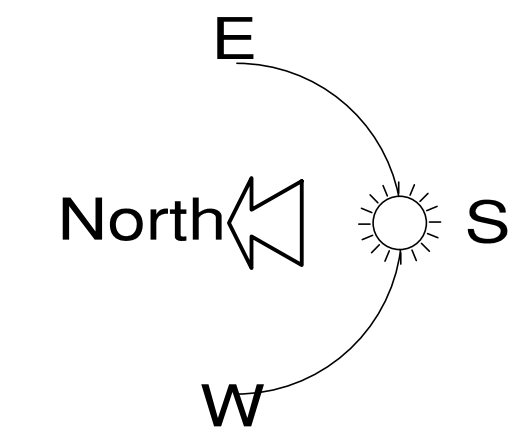
4x10 HDR @ ALL EXT. [B1]
 WINDOWS/DOORS (TYP. U.N.O.)

PROVIDE CONT. EXT. SHEATHING BEHIND LOW TRUSSES DOWN TO SECOND FLOOR SOLE PLATE (TYP. @ LOW ROOF)

ROOF VENTILATION

Standard Truss / Scissor Truss Roof Framing Assembly:		ZONE 1
Roof Area:	2182 s.f.	
Ventilation Required:	$2182 \text{ s.f.} \times 144 \text{ s.i. / s.f.} / 300 =$	1047.4 s.i. Req'd
Provide between 40% & 50% of the total required ventilation no more than 3 ft below the ridge or the highest point of the space. Remainder to be installed at eave vents.		
Ridge Ventilation: 50% of ventilation		523.68
Continuous Ridge Vent =		18.00 s.i. per l.f.
Upper Ventilation MIN. Req'd =	$523.68 \text{ s.i.} \times 0.4 / \text{s.i. per linear foot} =$	24 l.f.
Upper Ventilation MAX. Req'd =	$523.68 \text{ s.i.} \times 0.5 / \text{s.i. per linear foot} =$	29 l.f.
Provide:	28 l.f. ridge vent. Ventilation =	504.00 s.i.
Ventilation area remainder for AF50 vents =		19.68 s.i.
Upper Roof Ventilation: as needed to achieve 50% of ventilation		
AF50 Roof Jack (10" x 7") =		50.00 s.i. each.
Upper Ventilation Req'd TO GET 50% =	$19.68 \text{ s.i.} / \text{s.i. of each vent} =$	1 vent
Provide:	0 - 10"x7" roof jacks. Ventilation =	0.00 s.i.
Eave Ventilation:		
Birdblocking: (3/2" dia holes per bay =	$4.71 \text{ s.i. / l.f.} - 25\% \text{ reduction} =$	3.53 s.i. / l.f.
Eave Ventilation Req'd =	$523.68 \text{ s.i.} / \text{s.i. per l.f.} =$	19.68 l.f.
Provide Minimum:	214 l.f. birdblocking. Ventilation =	755.96 s.i.
Minimum Ventilation Provided =	1259.96 s.i. IS GREATER THAN :	1047.4 s.i. Req'd

ROOF FRAMING PLAN
 1/4" = 1'-0"



SPRAY FOAM INSULATION REQUIRED - NO VENTILATION HIGH LOW REQUIREMENTS REQUIRED @ SHED METAL ROOF LOCATION ONLY

SPRAY FOAM INSULATION
 SPRAY 2" CLOSED CELL FOAM & 1/2" THICK FIBERGLASS AT UNDERSIDE OF ROOF TRUSS TOTAL R50 VALUE.
 SPRAY FOAM INSULATION PRODUCT INFORMATION REGARDING THE MINIMUM REQUIRED INSULATION VALUES AND COMPLIANCE WITH IRC R502.5 MUST BE PROVIDED TO THE BUILDING INSPECTOR

SN#203
 3" EDGE NAILING (SEE NOTES)

SN#205 SN#206

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 A12

Sheet Title/Description

Issue	Issue Date	By	Description
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4526 89th AVE SE
MERCER ISLAND, WA.

Job Number:
MIS077

plan name: -
marketing name: MARCELLO
plan number: MIS077
mark sys. number: -

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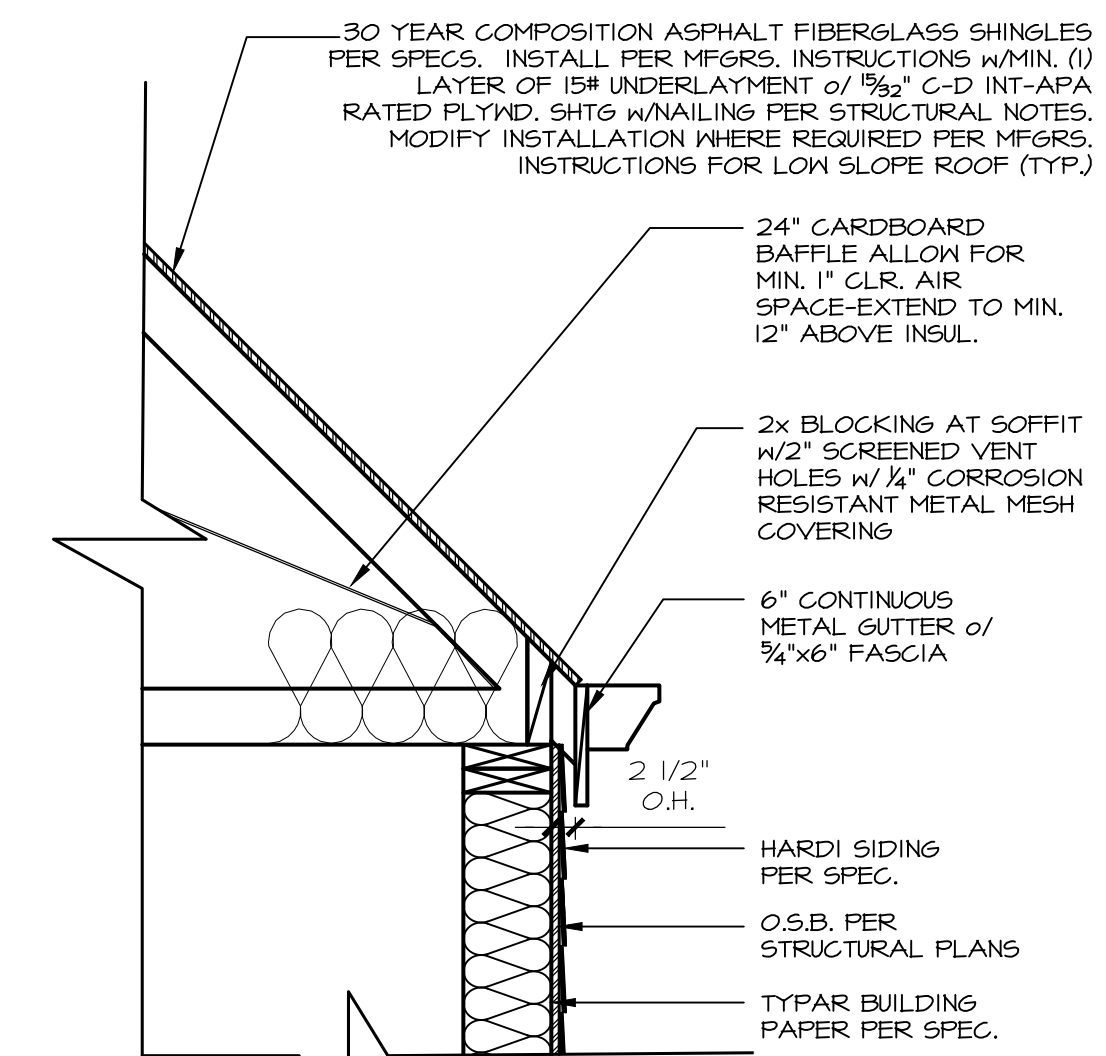
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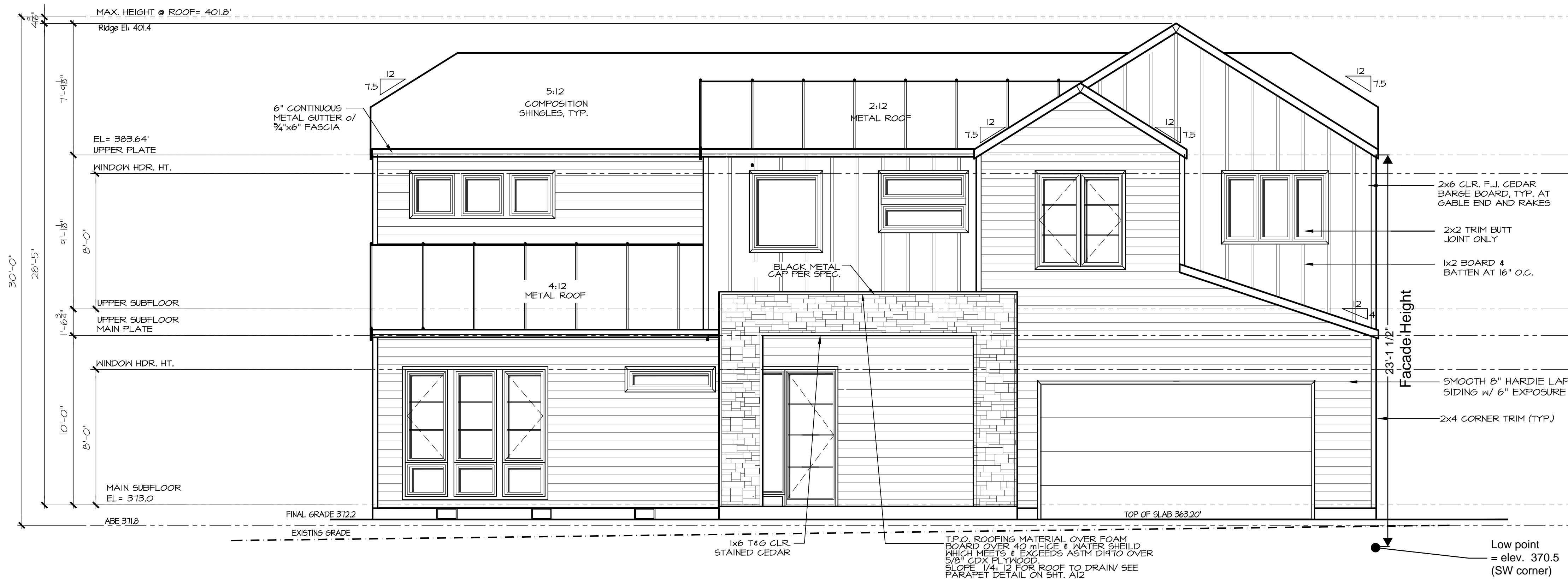
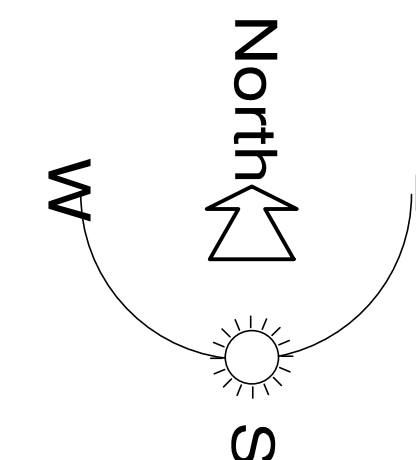
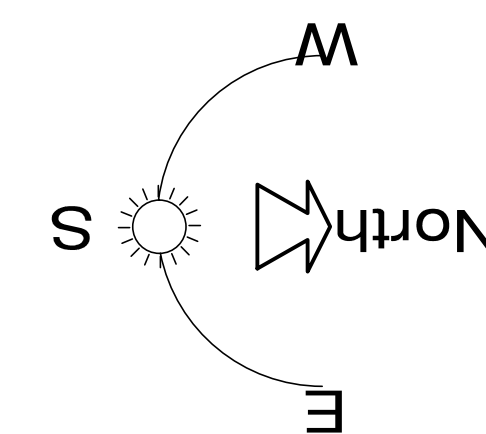
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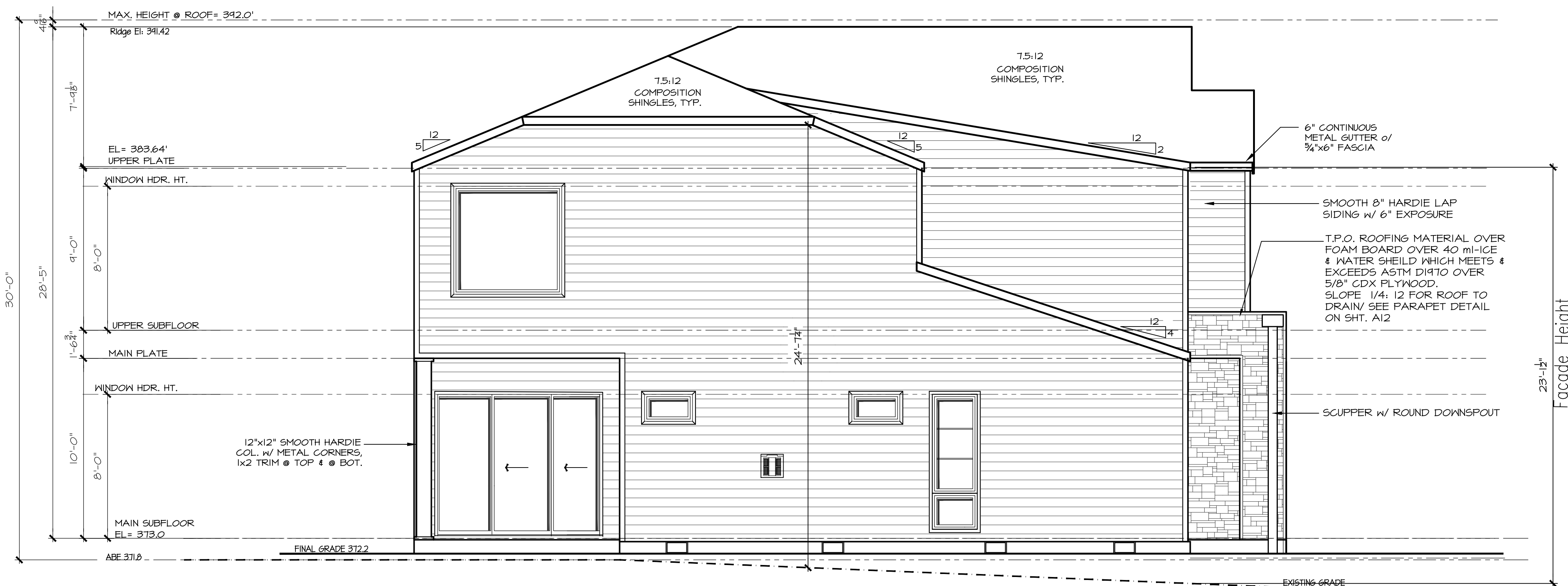


A OVERHANG DETAIL
1" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

Sheet Title/Description

Issue	Issue Date	Description
△		

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R.R.
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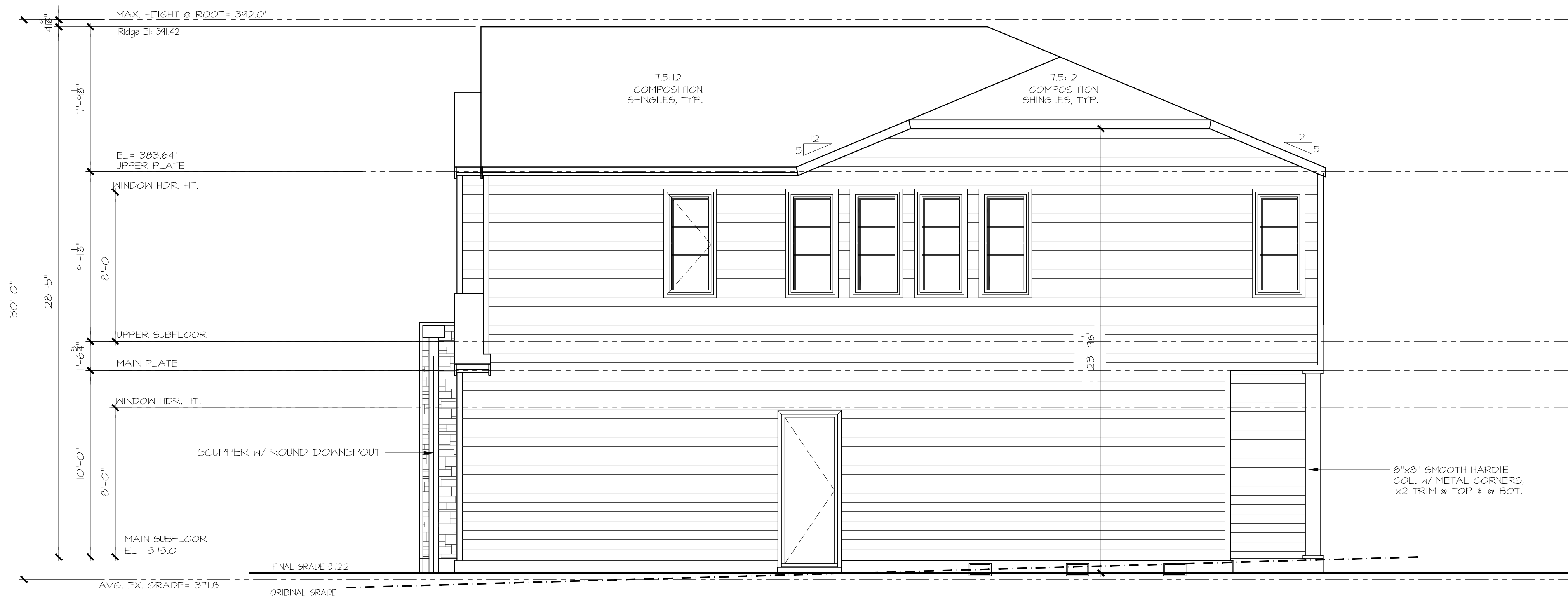
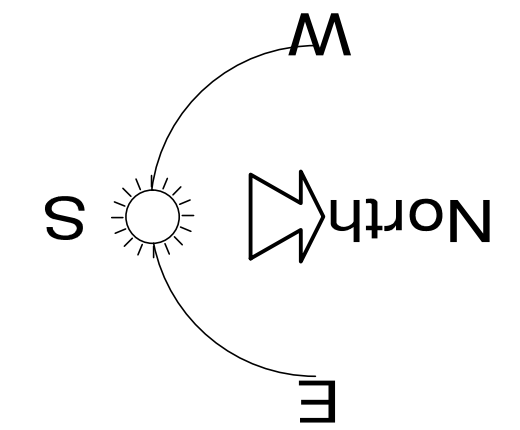
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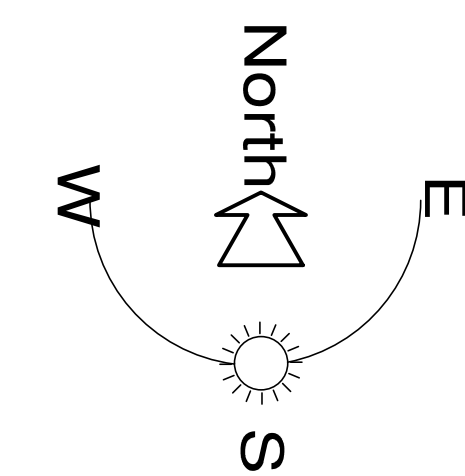
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REAR ELEVATION
 1/4" = 1'-0"



RIGHT ELEVATION
 1/4" = 1'-0"



Sheet Title/Description

NOTES:



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Mercer Island, WA
98040
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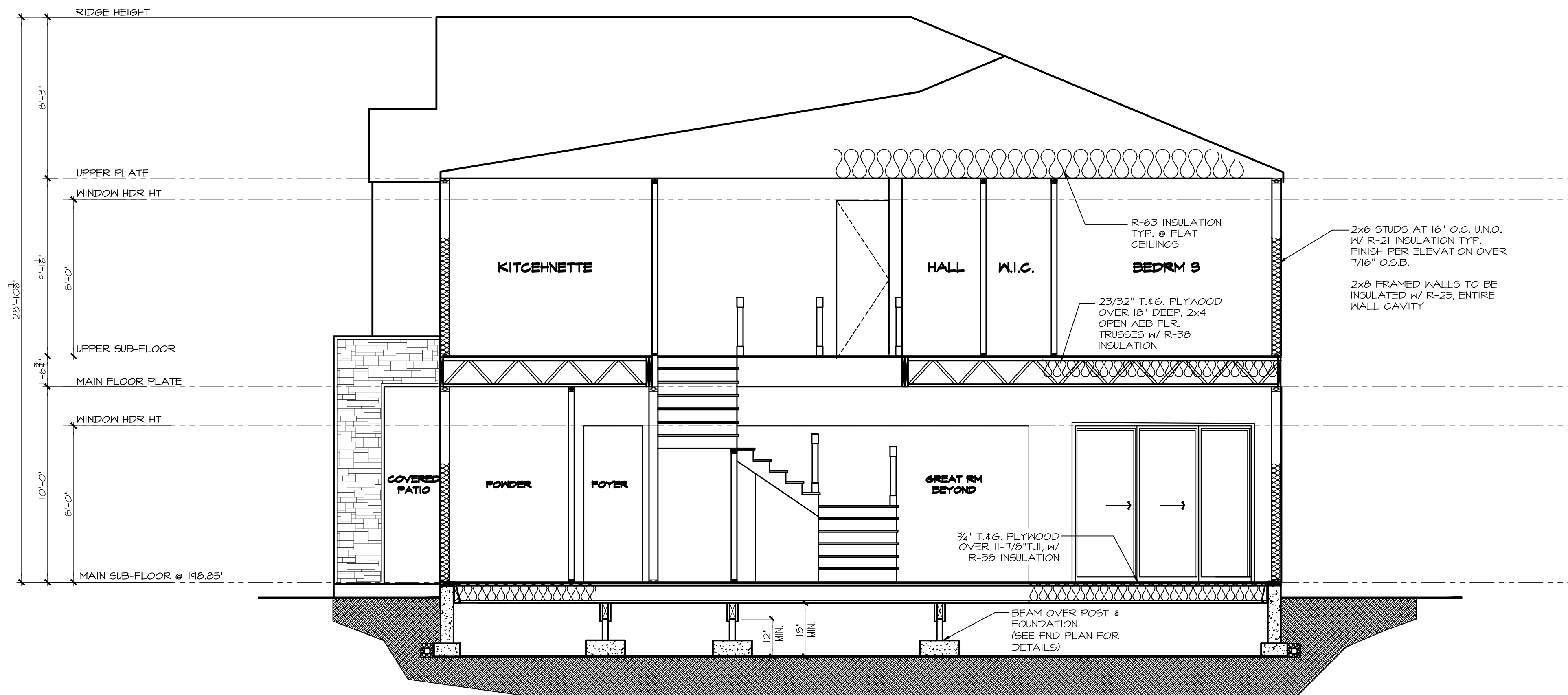
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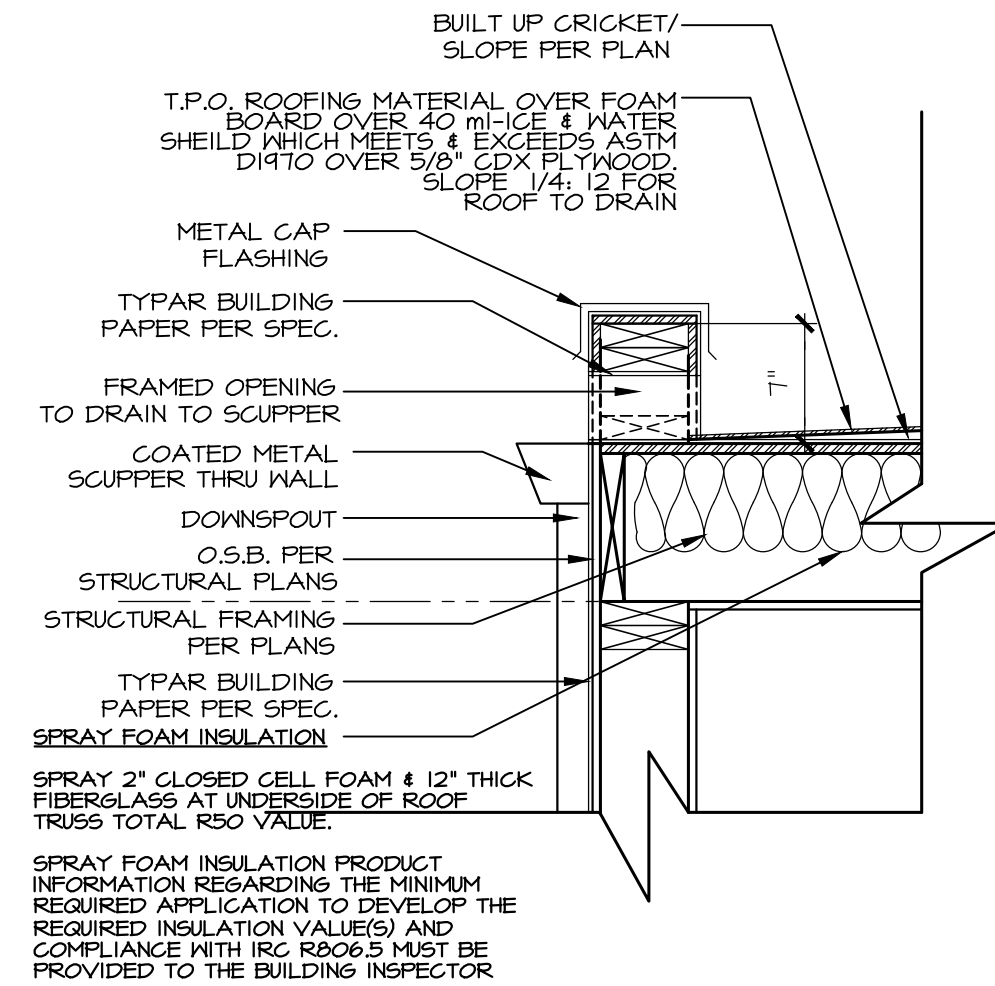
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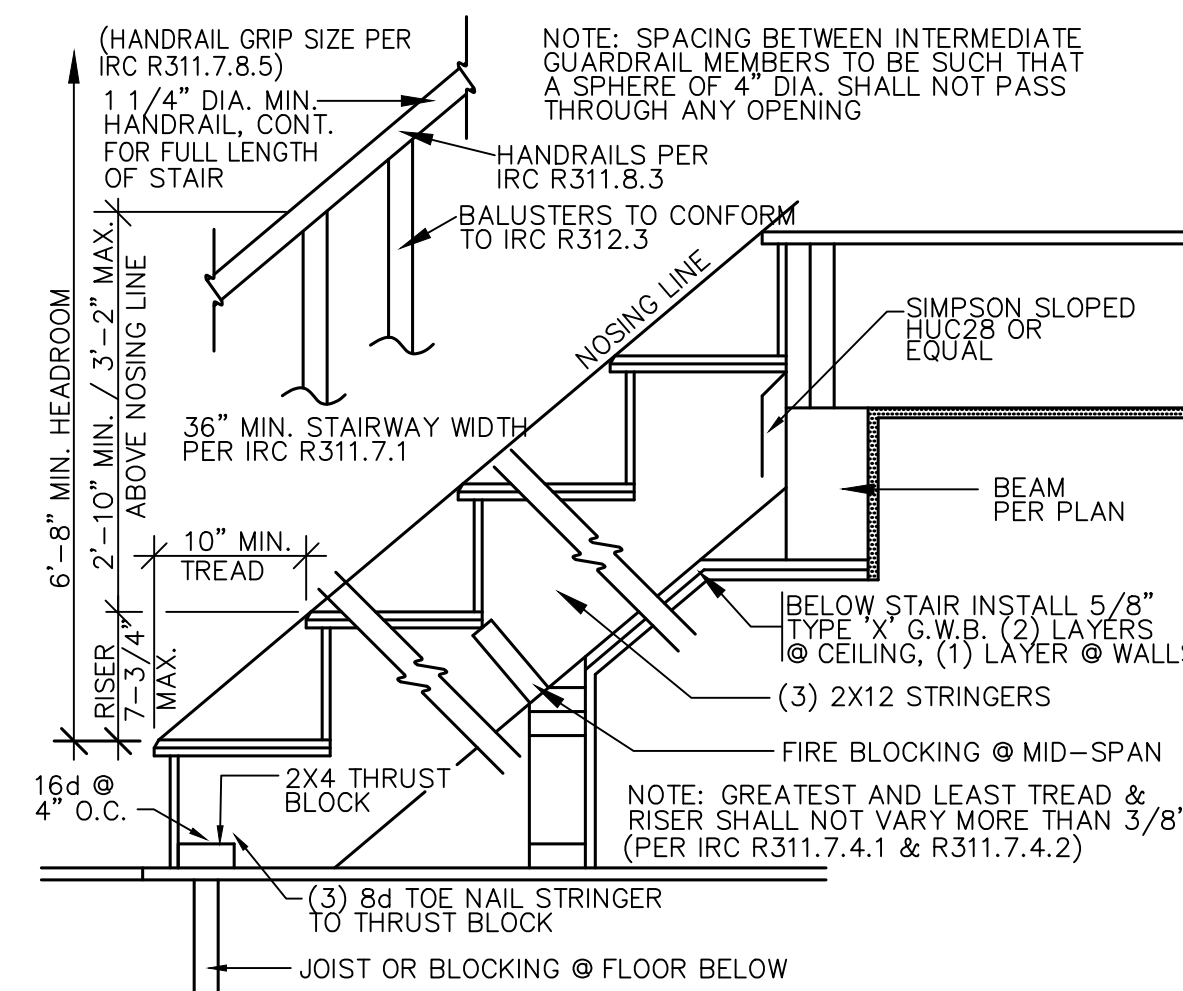
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A BUILDING SECTION
1/4" = 1'-0"



PARAPET DETAIL
1" = 1'-0"



TYP. STAIR SECTION
1/4" = 1'-0"

BASEMENT SLAB
4" CONC. SLAB ON 10 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL
GARAGE SLAB
4" CONC. SLAB ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL
PORCH SLAB
4" CONC. SLAB ON GRADE ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES	
FOUNDATION	
<ul style="list-style-type: none"> DESIGN IS BASED ON 2021 INTERNATIONAL RESIDENTIAL CODE & 2021 INTERNATIONAL BUILDING CODE DESIGN LOADS: <ul style="list-style-type: none"> SOIL: 1500 PSF ALLOWABLE BEARING PRESSURE CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: <ul style="list-style-type: none"> $f_c = 3000$ psi: FOUNDATION WALLS 3000 psi: FOOTINGS 2500 psi: INTERIOR SLABS ON GRADE 3500 psi: GARAGE & EXT. SLABS ON GRADE $f_y = 60000$ psi * ALL CONCRETE HAS BEEN DESIGNED FOR 2500 PSI, ANYTHING GREATER THAN THIS SPECIFICATION IS FOR WEATHERING ONLY. * ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT. * FOUNDATION WALL DESIGN IS BASED ON BACKFILL SOIL PRESSURE OF 55 PCF AT-REST, 35 PCF ACTIVE & 7% SEISMIC SURCHARGE. * TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN. BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER AT THE BOTTOM BARS AND 1 1/2" COVER AT THE SIDES. * FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK. * ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE. * FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL. * PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (5'-0" O.C.) * FASTEN SILL PLATES TO FOUNDATION WALLS WITH 3/4" DIA. ANCHOR BOLTS W/ MIN. 3"x3"x 1/2" PLATE WASHERS (EDGE OF WASHER TO BE LOCATED WITHIN 1/2" OF EXTERIOR EDGE OF SILL PLATE) PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, U.N.O. (SEE FND. DETAILS). * ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED HEM FIR #2. * ARCH/BUILDER TO VERIFY ALL DIMENSIONS 	

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
	SIMPSON STHD14 (R.J.) HOLD-DOWN
	SIMPSON CS16 STRAP TIE (14" END LENGTH)
	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

MEANS & METHODS NOTES	
<p>THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORINGS, SHEETING, TEMPORARY BRACINGS, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.</p> <p>STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.</p>	

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER	
<p>ROOF TRUSSES, FLOOR TRUSSES AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.</p> <p>TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:</p> <p>A. ROOF TRUSSES: 1/4" DEAD LOAD</p> <p>B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD</p> <p>C. FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)</p>	

LOADING AND DESIGN PARAMETERS	
GRAVITY DESIGN LOADS:	
DEAD LOAD (PSF):	
ROOF TRUSS TOP CHORD :	10
ROOF TRUSS BOTTOM CHORD :	7
ROOF (I-JOISTS) :	10
FLOOR (TRUSSES) :	15
FLOOR (I-JOISTS) :	10
TILE FLOORS :	10
LIVE LOAD (PSF):	
ROOF :	20
RESIDENTIAL LIVING AREAS :	40
RESIDENTIAL SLEEPING AREAS :	30
RESIDENTIAL HOOD DECKS :	60
GARAGE :	50
SNOW LOAD:	
GROUND SNOW LOAD (P _g) (PSF) :	25
FLAT ROOF SNOW LOAD (P _f) (PSF) :	25
SNOW EXPOSURE FACTOR (C _e) :	0.9
SNOW LOAD IMPORTANCE FACTOR (I) :	1.0
THERMAL FACTOR (C _t) :	1.2
LATERAL DESIGN LOADS:	
WIND LOAD: (IBC 1604)	
SPEED (V _w) (MPH) :	100
WIND RISK CATEGORY :	II
IMPORTANCE FACTOR (I _w) :	1.0
EXPOSURE CATEGORY :	B
INTERNAL PRESSURE COEFF. (GC _w) :	±0.18
TOPOGRAPHIC FACTOR (K _z) :	1.0
SEISMIC LOAD: (IBC 1601)	
SEISMIC RISK CATEGORY :	II
SEISMIC IMPORTANCE FACTOR (I _s) :	1.0
MAPPED SPECTRAL RESPONSE:	
S _w 1428	S _w 0.496
SITE CLASS :	(D) (DEFAULT)
SPECTRAL RESPONSE COEFF. :	
S _w 1142	S _w 0.591
SEISMIC DESIGN CATEGORY:	D
BASIC SEISMIC-FORCE-RESISTING SYS :	
LIGHT FRAMED WALLS	
W/ WOOD STRUCTURAL PANELS	
ULTIMATE BASE SHEAR:	
TRANS: 17 K	LONGS: 17 K
SEISMIC RESPONSE COEFF. (C _d) :	
TRANS: 0.176	LONGS: 0.176
RESPONSE MODIFICATION FACTOR (R) :	
TRANS: 6.5	LONGS: 6.5
ANALYSIS PROCEDURE USED:	
EQUIVALENT LATERAL FORCE	

LATERAL BRACING NOTES	
<p>THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. B (ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.</p> <p>100 MPH WIND IN 2021 IRC MAP</p> <p>ENGINEERED DESIGN WAS COMPLETED PER 2021 IBC (SECTION 1604 & 1613) & ASCE 7-16, AS PERMITTED BY R301.3 OF THE 2021 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.</p>	

STANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS	
(INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)	
<ul style="list-style-type: none"> 1/8" OSB OR 1/2" PLYWOOD: <p>FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 6" O.C. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION U.N.O. ON PLANS.</p>	

3" O.C. EDGE NAILING	
(WHERE NOTED ON PLANS)	
<ul style="list-style-type: none"> 1/8" OSB OR 1/2" PLYWOOD: <p>ONLY AT LOCATIONS INDICATED ON PLANS - SHEATHES SHOWN WITH 1/8" OSB. FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.</p>	

NOTES:	
<ol style="list-style-type: none"> LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" O.C. ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/ 3"x0.131" NAILS @ 8" O.C. USE (12) 3"x0.131" NAILS AT EACH LAP SPLICE, (6) EACH SIDE OF JOINT (U.N.O.) ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED. ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS. 	

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.) OR SHEARWALL ABOVE (S.W.A.)
	BEAM / HEADER
	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING
	AREA OF OVERFRAMING
	JL METAL HANGER
	* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	▶ INDICATES HOLDDOWN.

GENERAL STRUCTURAL NOTES	
DESIGN PARAMETERS	
<ul style="list-style-type: none"> DESIGN IS BASED ON 2021 INTERNATIONAL RESIDENTIAL CODE & 2021 INTERNATIONAL BUILDING CODE WOOD FRAME ENGINEERING IS BASED ON NDS, NATIONAL SPECIFICATION FOR WOOD CONSTRUCTION - LATEST EDITION. 	
GENERAL FRAMING	

<ul style="list-style-type: none"> EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O. INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O. ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX.) ALL WALLS TALLER THAN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. B.F. WALLS SHALL BE 2x6 HEM FIR (HF) #2 GRADE LUMBER, OR BETTER, U.N.O. ALL SHEATHING AND LEDGERS ARE TO BE DIRECTLY APPLIED AND FASTENED TO FRAMING, DO NOT PROVIDE CONTINUOUS INSULATION BETWEEN FRAMING AND SHEATHING/LEDGERS ALL HEADERS SHALL BE SUPPORTED BY (1) 2x JACK STUD @ (1) 2x KING STUD, MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O. BUILT-UP POSTS SHALL BE 2x4 OR 2x6 HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O. & SOLID WOOD COLUMN SHALL BE SPRUCE PINE FIR (SPF) #2 GRADE LUMBER, OR BETTER, U.N.O. ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUG FIR #2 (DF #2) OR BETTER. ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15). ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS, NOT TYPICAL FRAMING SAWN NAILS. FASTEN ALL BEAMS TO COLUMN, OR FLUSH BEAMS TO SUPPORTING BEAMS, W/ (4) 3"x0.131" TOENAILS (MIN), TYP. U.N.O. PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE. ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING: <ul style="list-style-type: none"> LVL MEMBERS - Fb=2525 PSI; Fv=910 PSI; E=155x10⁶ PSI LVL MEMBERS - Fb=2400 PSI; Fv=285 PSI; E=2.0x10⁶ PSI SLB MEMBERS - Fb=2400 PSI; Fv=1850 PSI; Fv=285 PSI; E=1.8x10⁶ PSI; DF/DF; 24F-V4 (U.N.O.) ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: <ul style="list-style-type: none"> LVL MEMBERS - Fb=2400 PSI; Fc=12500 PSI; E=1.8x10⁶ PSI FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-RINGS OF 3"x0.131" NAILS (MIN) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS. TRUSS SHOP DWGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF PROPOSED CONSTRUCTION SHALL BE SUBMITTED TO BUILDING DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY IN ACCORDANCE WITH TPI-1 2.3.2.3 & 2.3.4.3. REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O. BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, NOT LESS THAN ASTM A653, TYPE G95 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED. 	
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FLOOR FRAMING	
<ul style="list-style-type: none"> I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L480 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, U.N.O. (EXCLUDES STONE/MARBLE OR NET BED CONSTRUCTED FLOORS - CONTACT MKR FOR EXCLUDED DESIGNS). ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED. 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L760 LIVE LOAD DEFLECTION CRITERIA. TYPICAL 2x JOIST HANGERS (U.N.O. ON PLANS): <ul style="list-style-type: none"> SINGLE PLY: SIMPSON LU520 DOUBLES: SIMPSON LU520-2 FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STUD"-FLOOR 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD. ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE, U.N.O. FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS W/ 1/2" LONG NAILS. 	

ROOF FRAMING	
<ul style="list-style-type: none"> FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (4) 3"x0.131" TOENAILS (MIN) & (1) SIMPSON SDNCL5600 SCREW @ ALL BEARING POINTS. PROVIDE (2) SIMPSON SDNCL5600 SCREWS AT 2-PLY GIRDER TRUSSES, (3) SIMPSON SDNCL5600 SCREWS AT 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS. FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) SIMPSON SDNCL5600 SCREW PROVIDE (2) SIMPSON SDNCL5600 SCREWS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS. ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS W/ 2 1/2" x 0.131" NAILS @ 6" O.C. AT PANEL EDGES & @ 6" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX. ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED. ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 7.6. ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI 1-08 GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES. FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW W/ (2) 3"x0.131" TOENAILS AT EA. TRUSS. FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" O.C. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS. 	



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M&K project number:	
154-25005	
project mgr:	NJM
drawn by:	AJC
issue date:	09-05-25
REVISIONS:	
date:	initial:

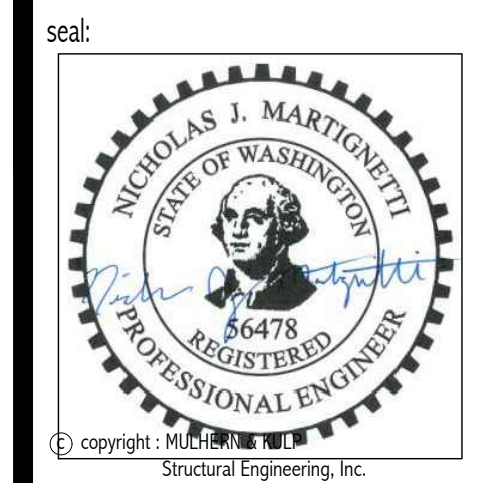


STRUCTURAL NOTES

4526 89TH AVE SE
MERCER ISLAND, WASHINGTON

sheet:

S-0.0



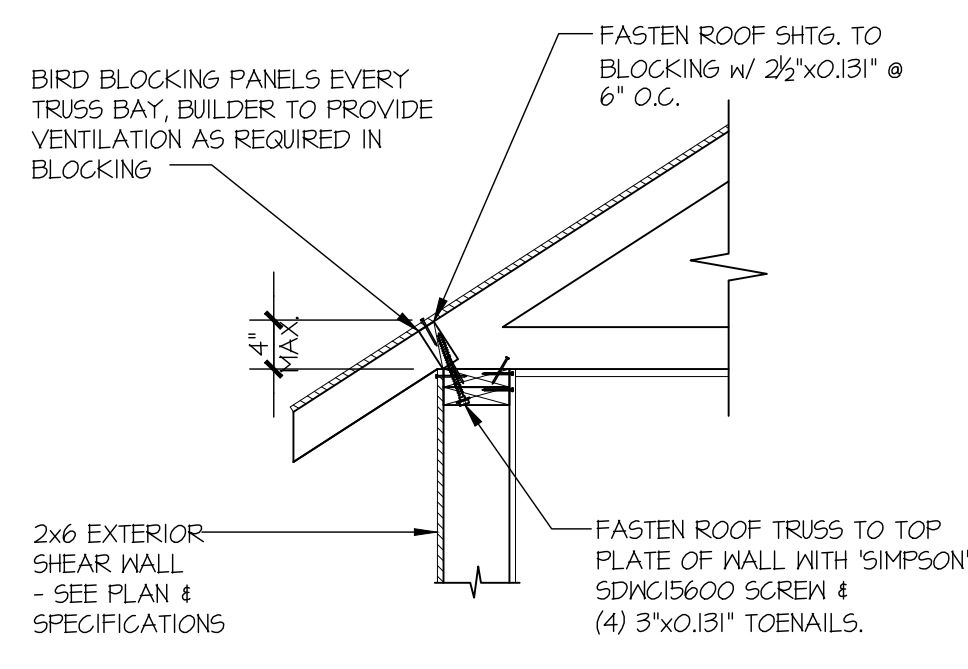
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p 619-660-0010 > mulhernkulp.com

M&K project number:
154-25005
project mgr: NJM
drawn by: A.J.C.
issue date: 09-05-25

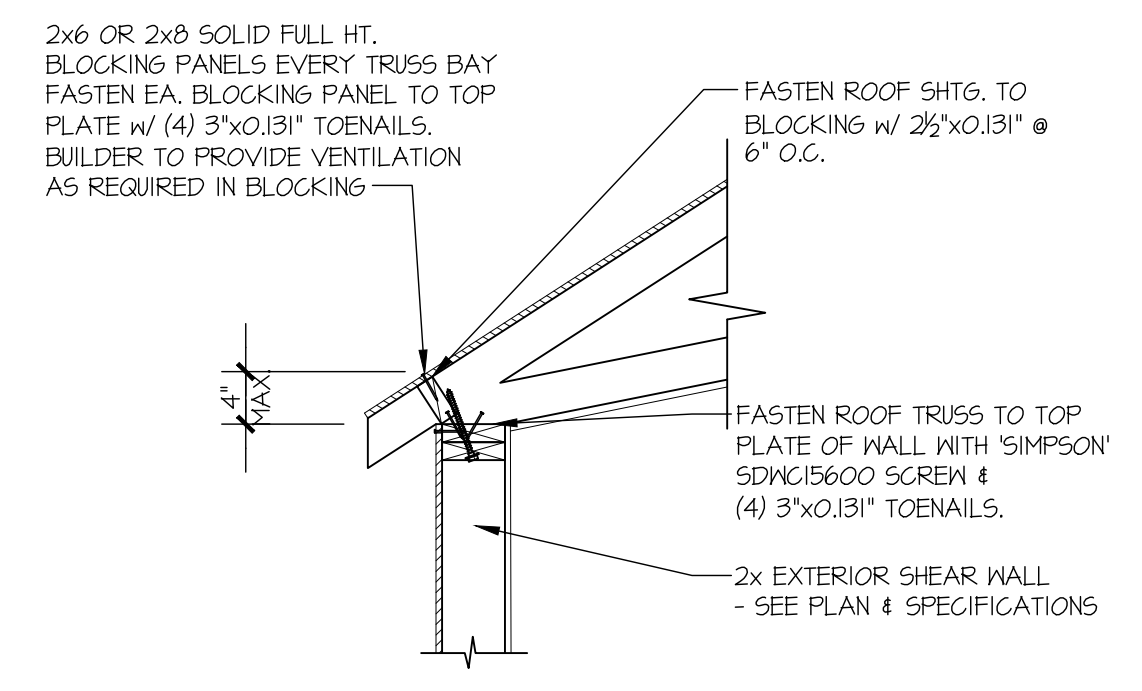


STRUCTURAL DETAILS
4526 89TH AVE SE
MERCER ISLAND, WASHINGTON

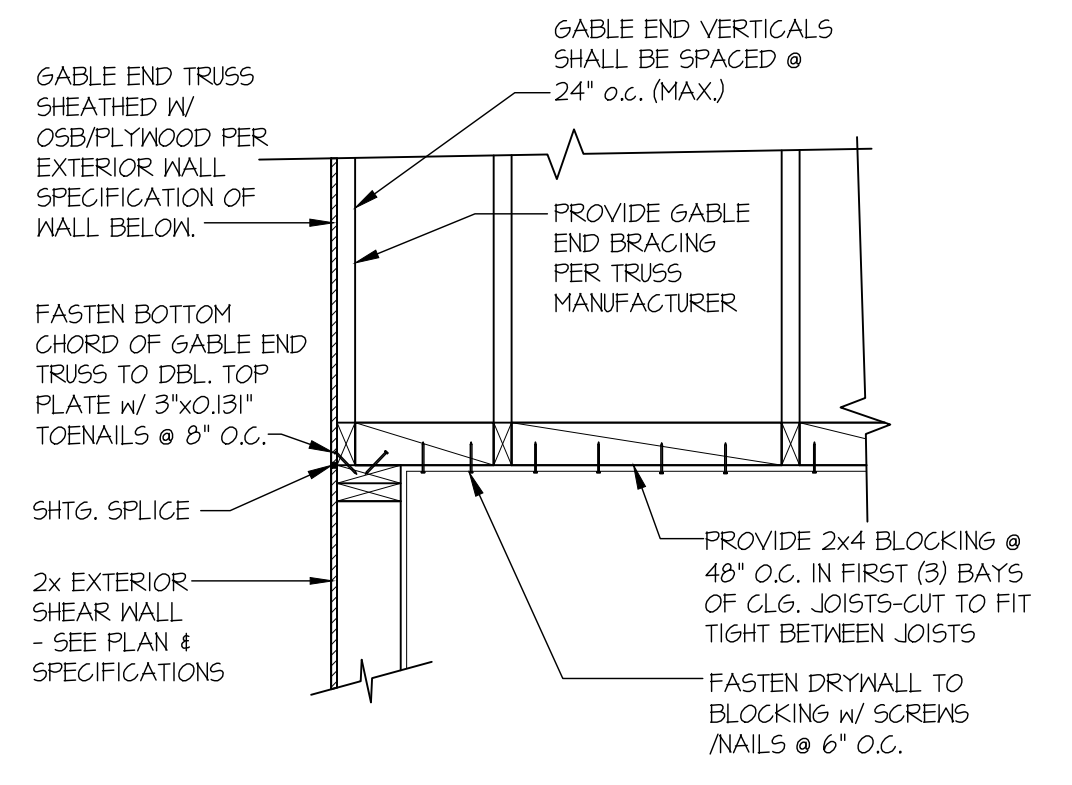
sheet:
LB-1



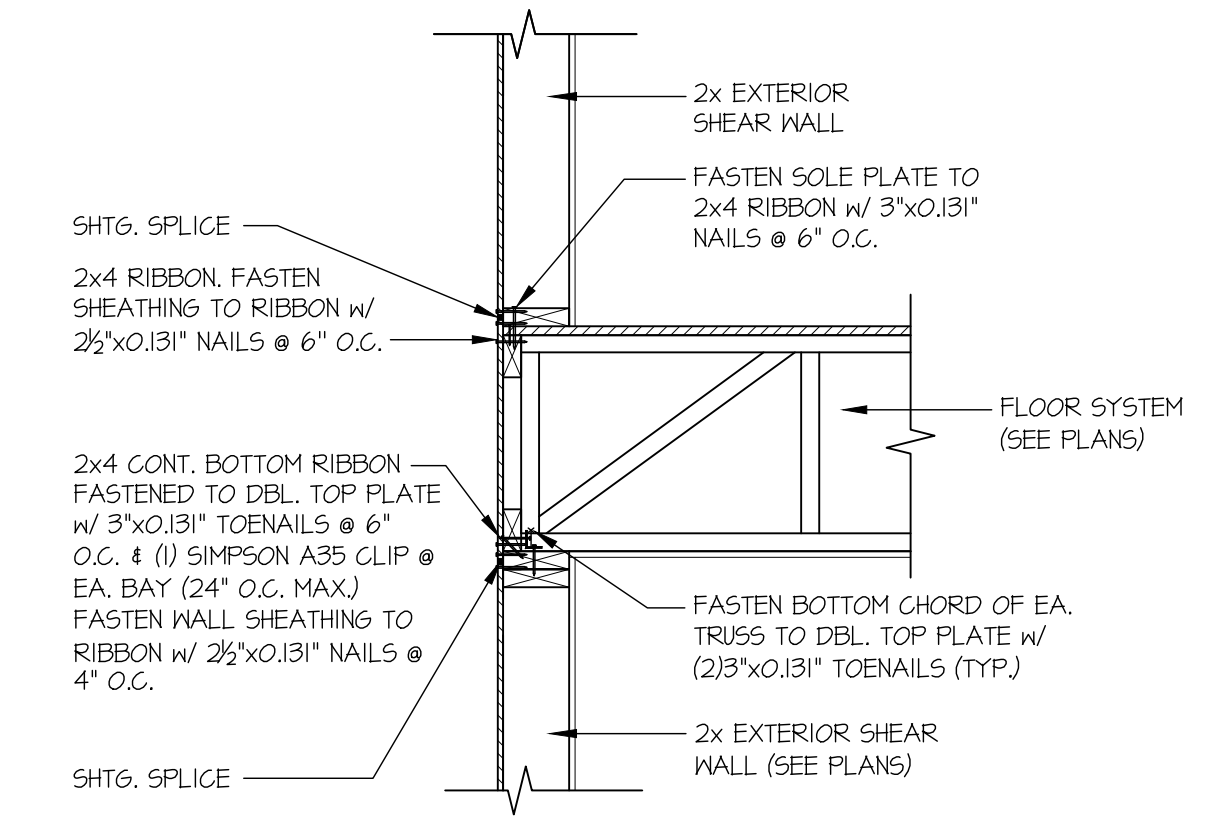
1 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/4"=1'-0" HEEL HEIGHT LESS THAN 4"



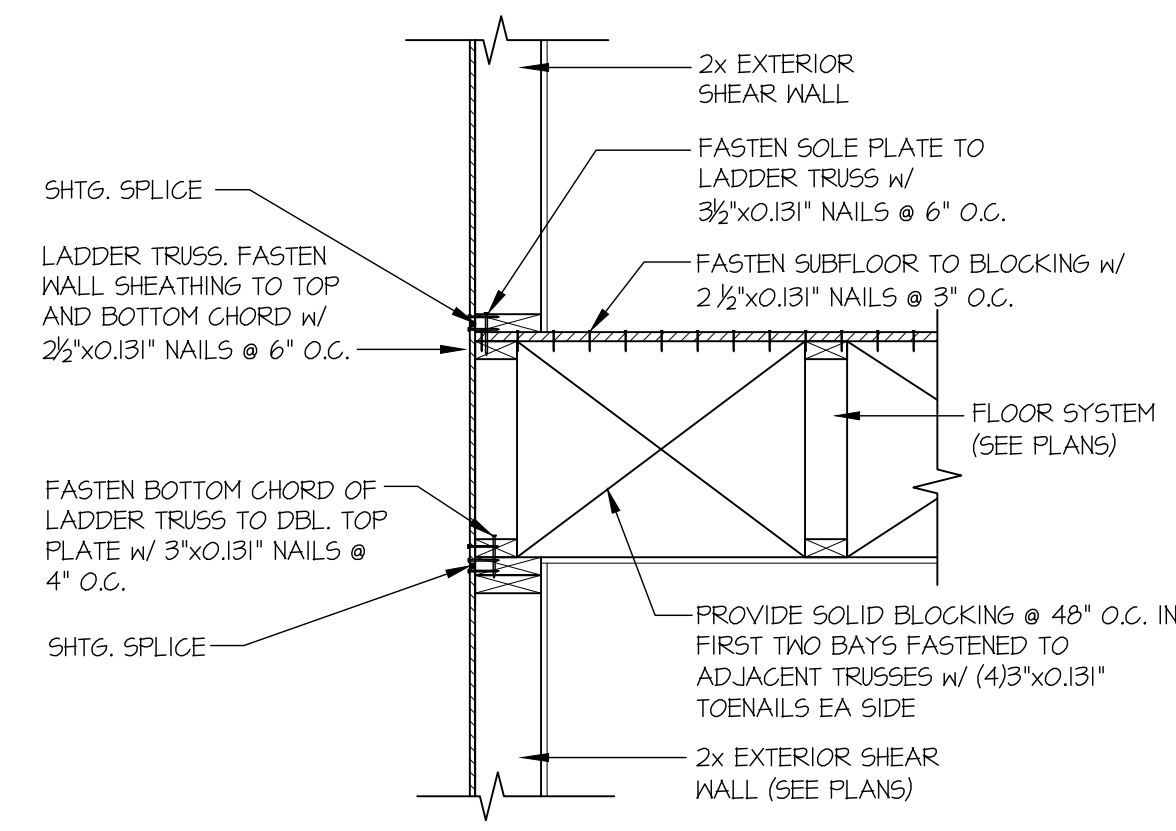
1A TYPICAL SHEAR TRANSFER DETAIL @ VAULTED CEILING
SCALE: 3/4"=1'-0"



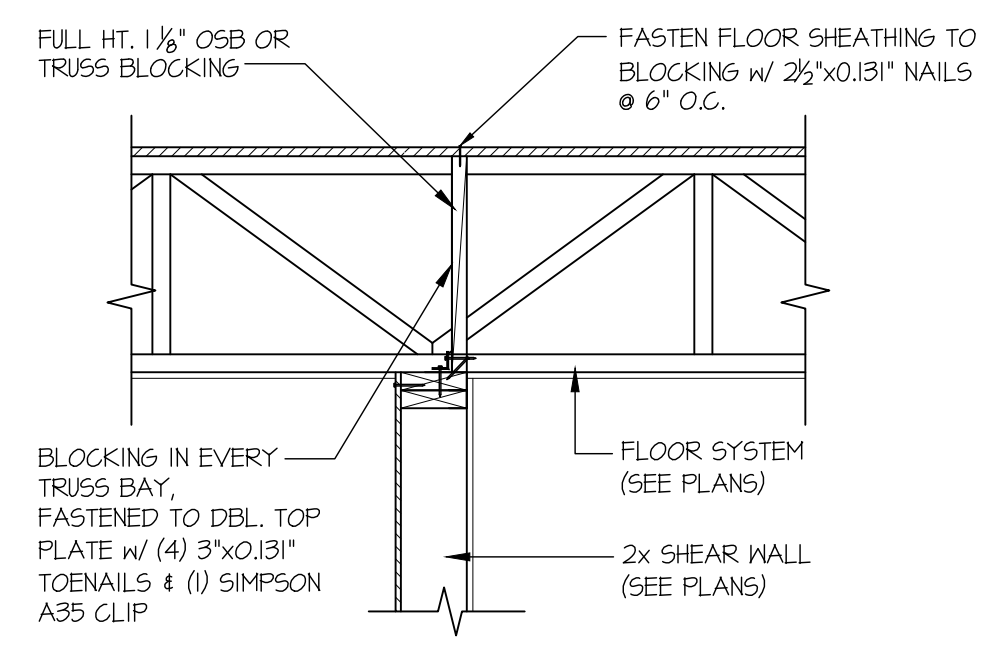
2 TYPICAL GABLE END DETAIL
SCALE: 3/4"=1'-0"



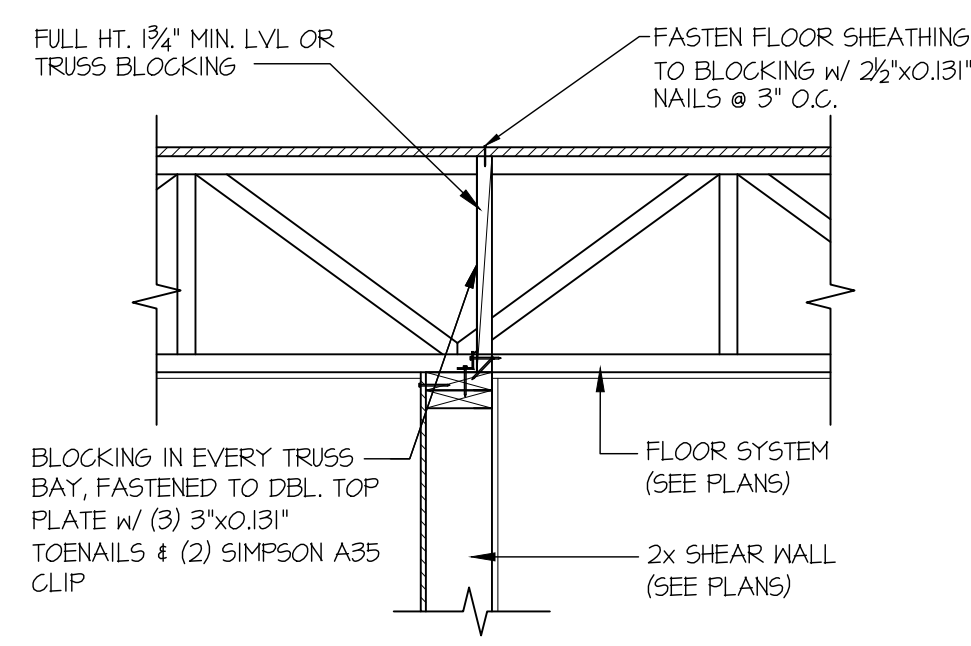
3 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



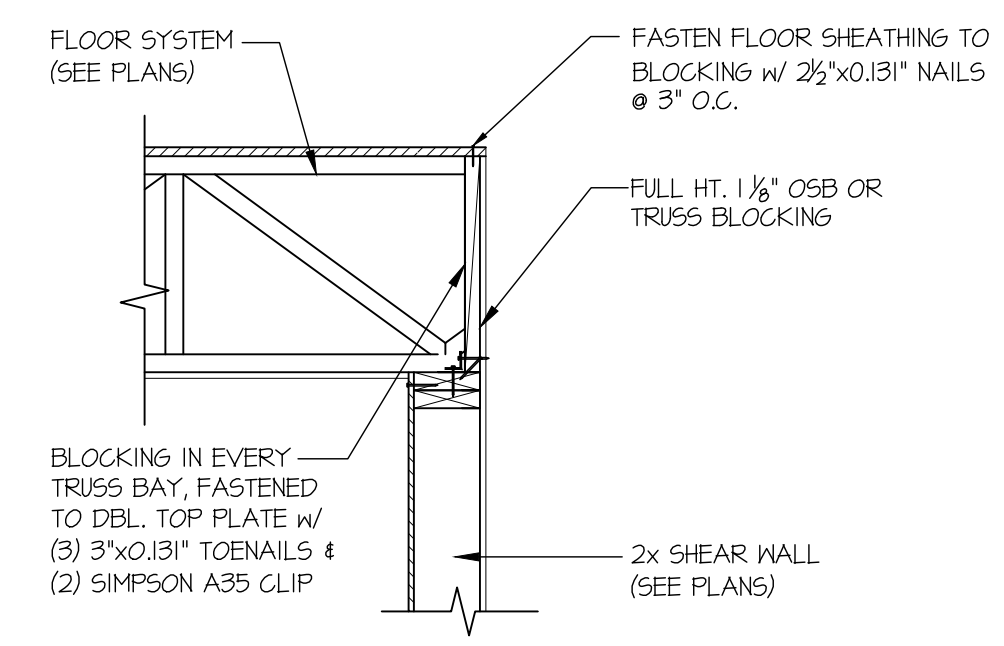
4 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PARALLEL FRAMING



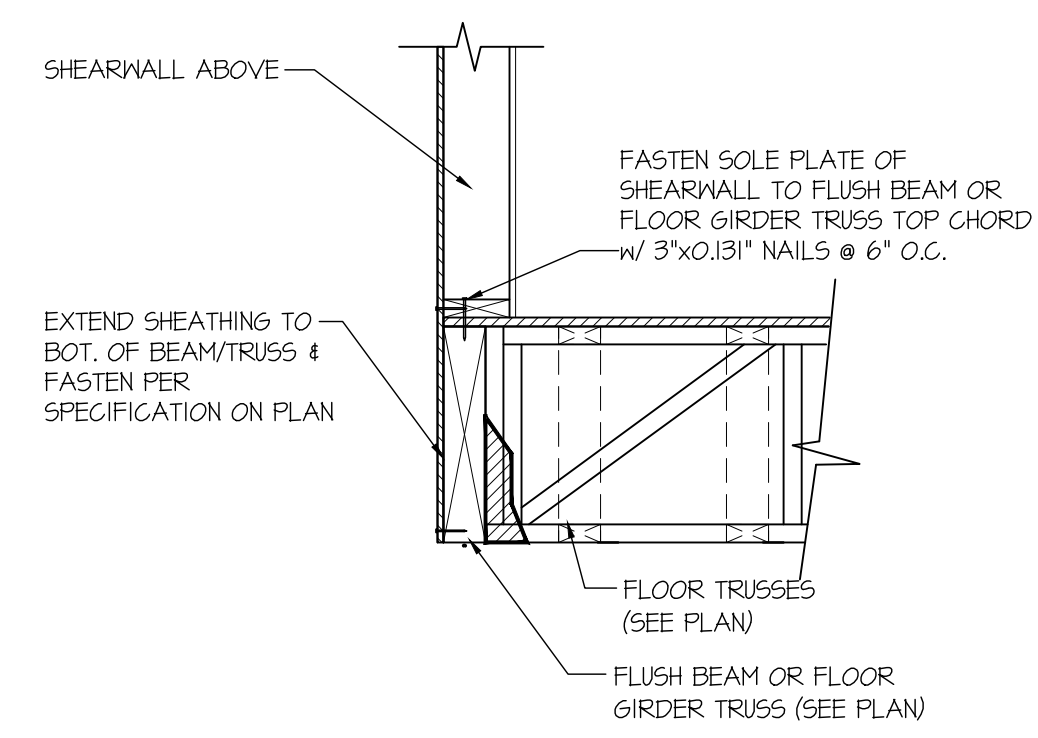
13 SHEAR TRANSFER DETAIL @ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



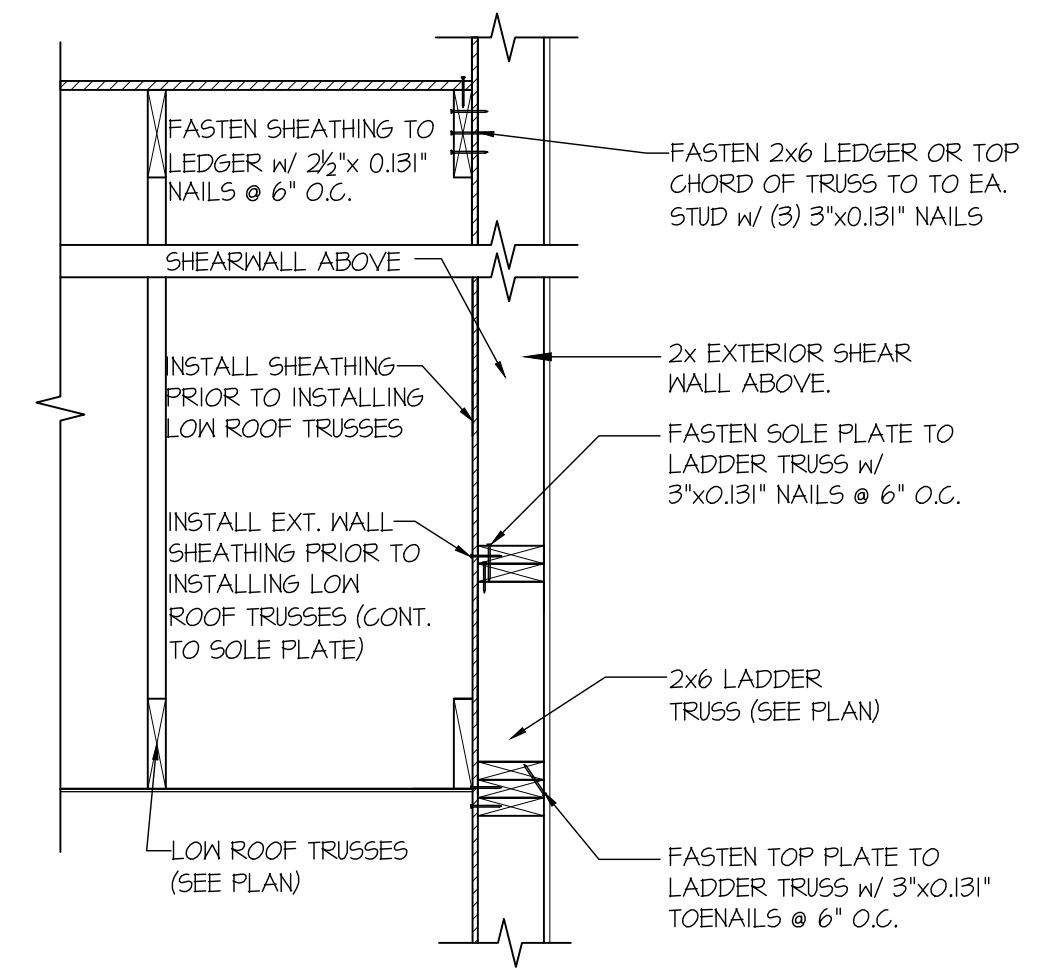
14 SHEAR TRANSFER DETAIL @ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



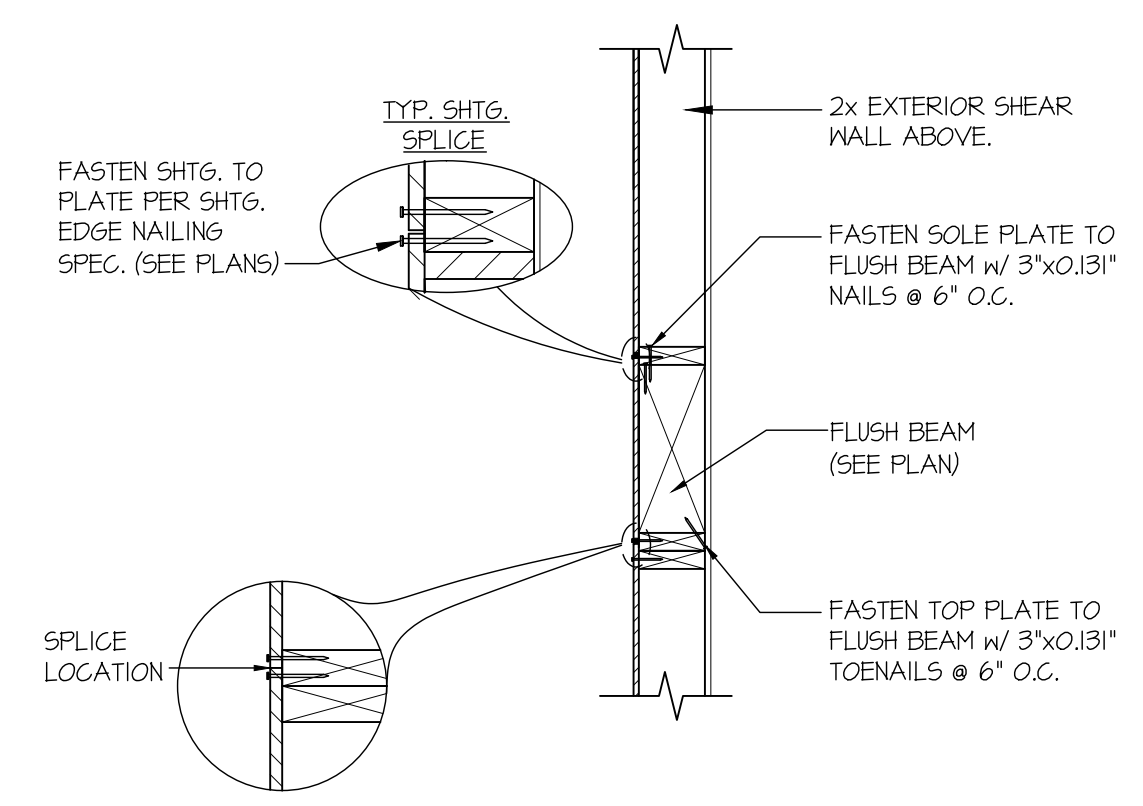
15 SHEAR TRANSFER DETAIL @ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



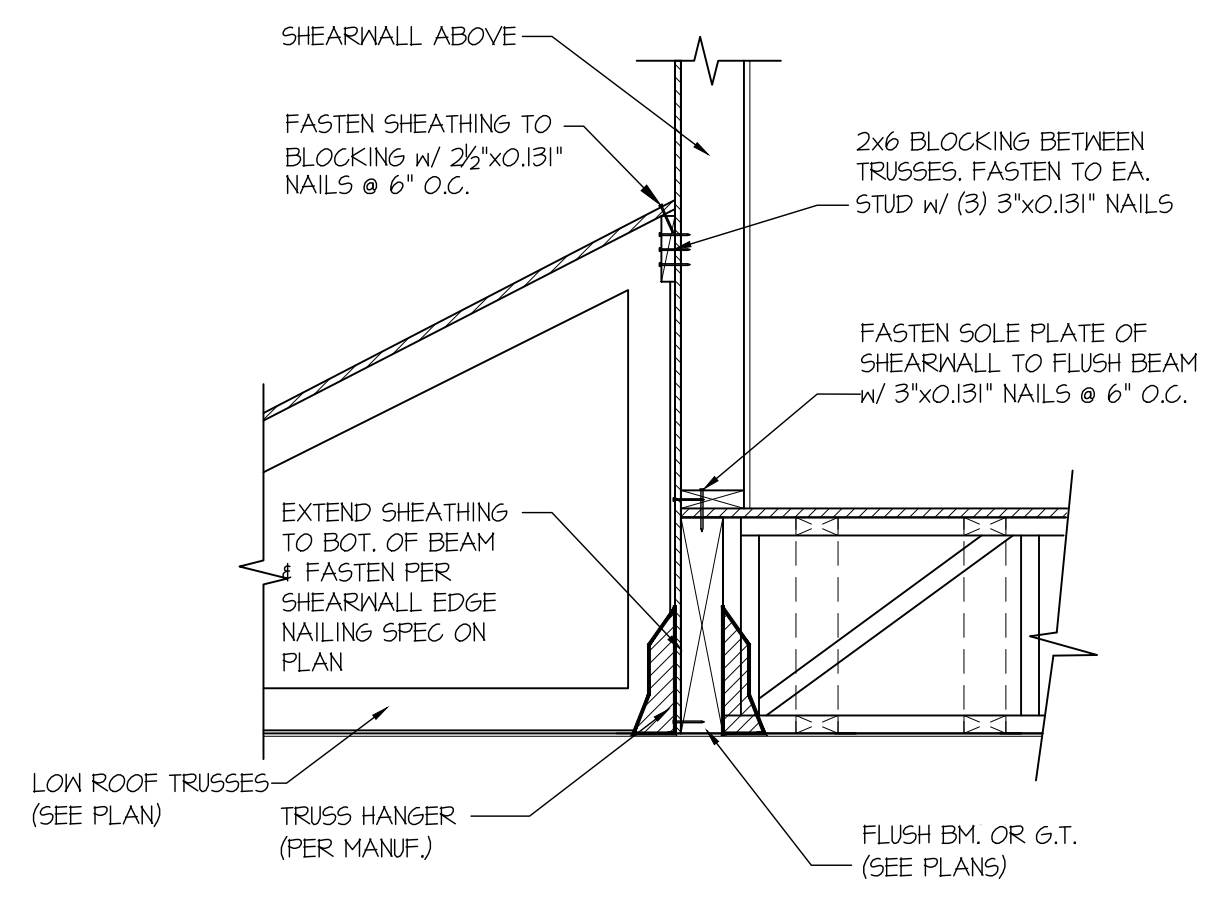
35 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



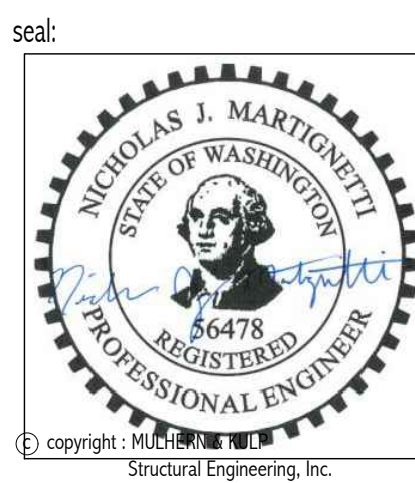
40 SECTION
SCALE: 3/4"=1'-0"



45 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL ABOVE FLUSH WIND BEAM
SCALE: 3/4"=1'-0"



58 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



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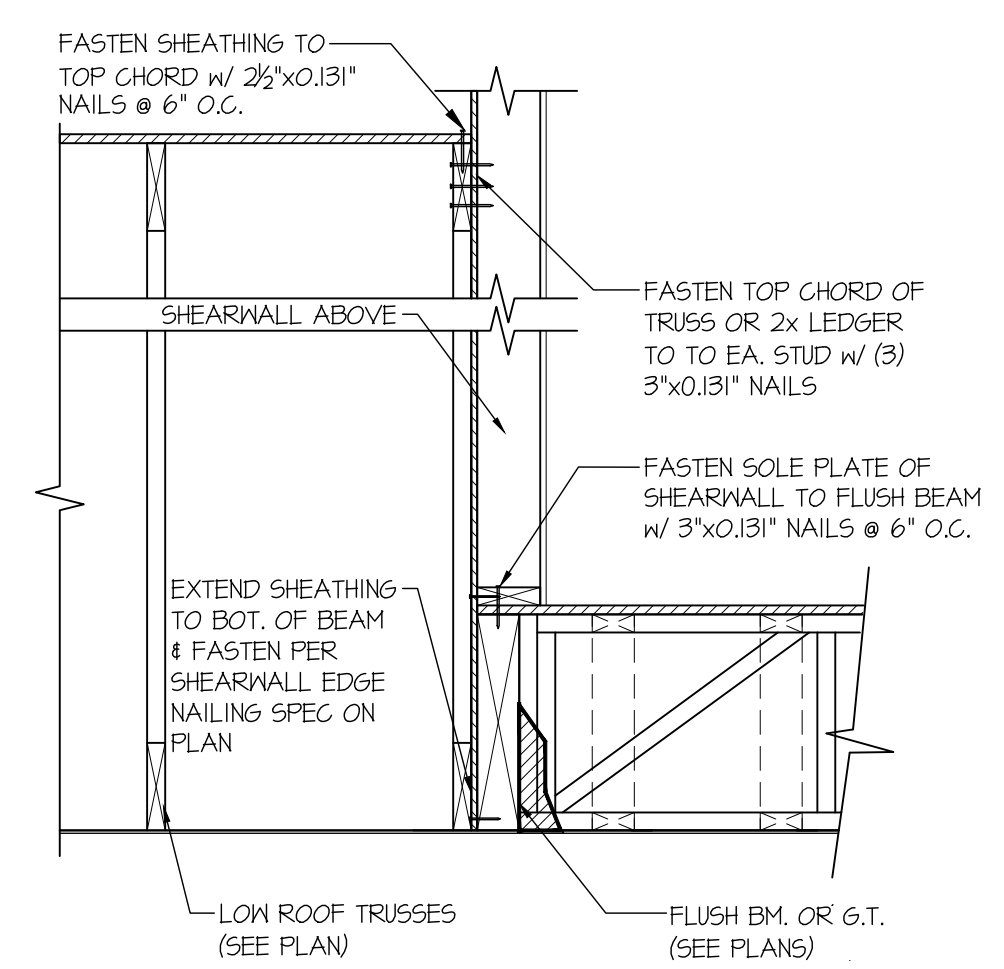
M&K project number:
154-25005
project mgr: **NJM**
drawn by: **AJC**
issue date: **09-05-25**

REVISIONS:
date: _____ initial: _____

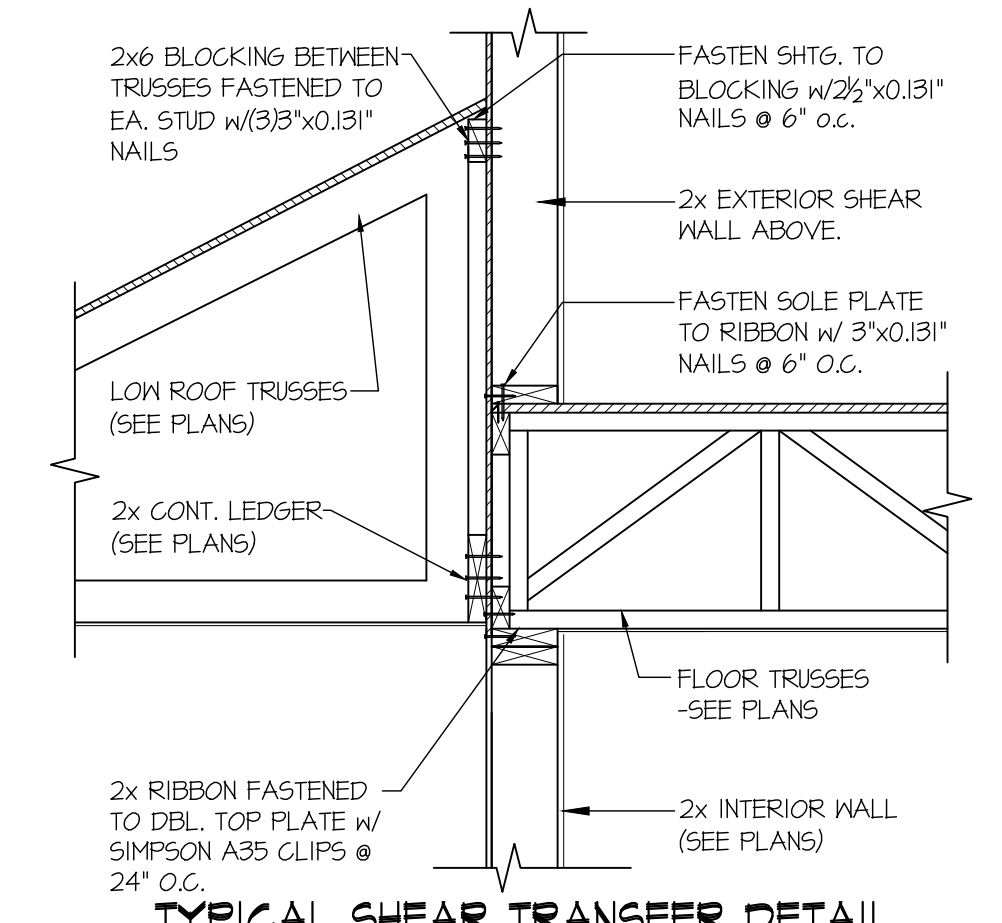


STRUCTURAL DETAILS
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MERCER ISLAND, WASHINGTON

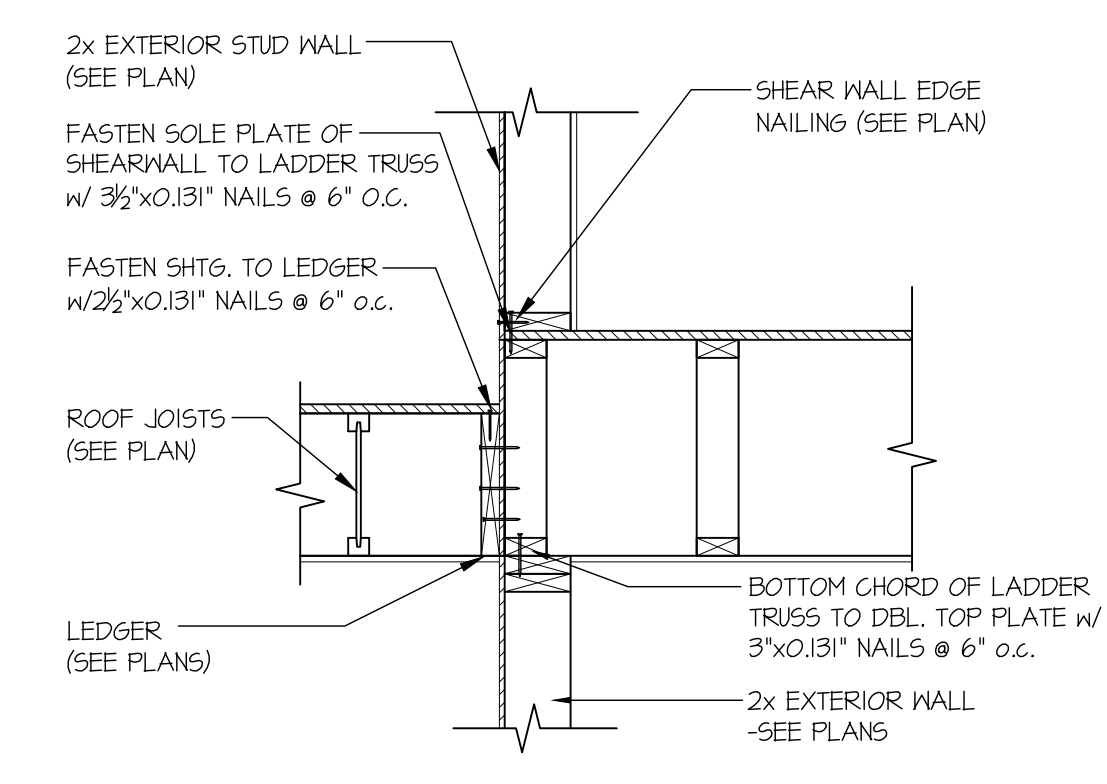
sheet:
LB-2



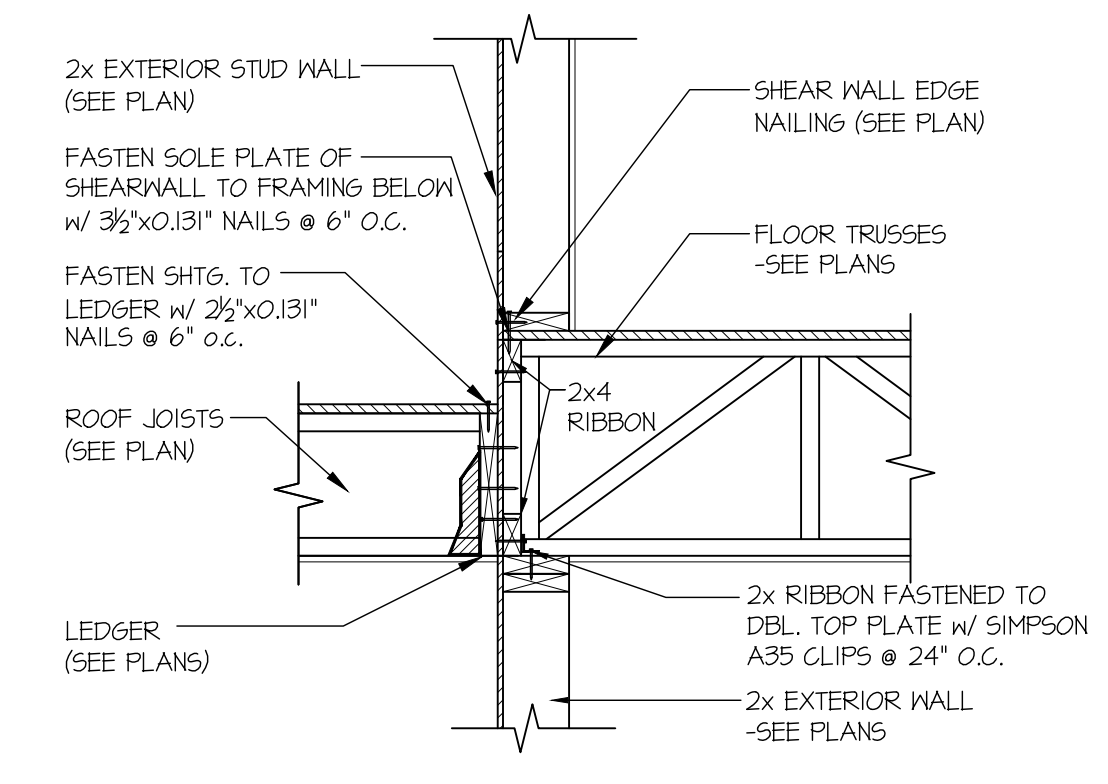
59 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



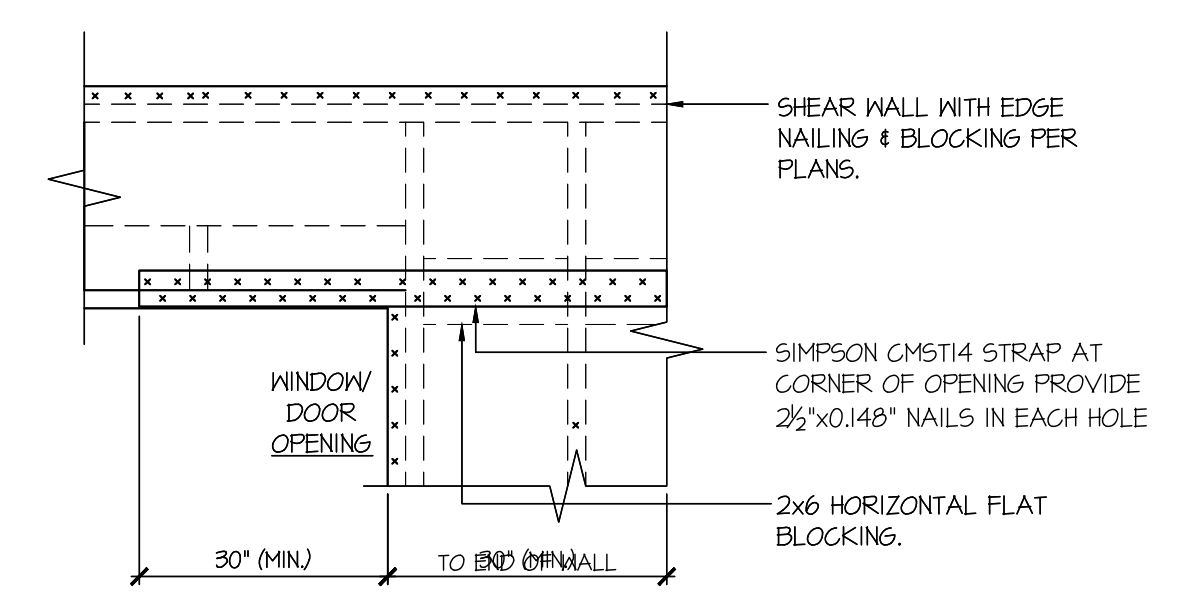
60 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



78 TYPICAL SHEAR TRANSFER DETAIL @ LOW ROOF
SCALE: 3/4"=1'-0"

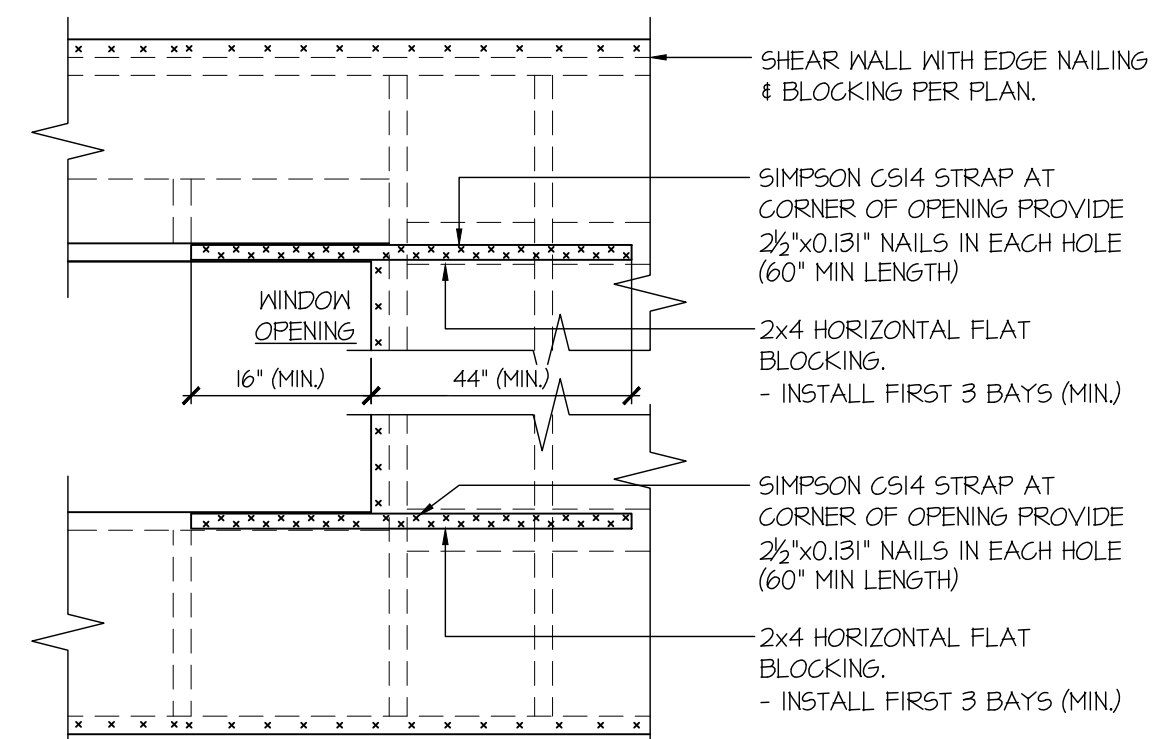


79 TYPICAL SHEAR TRANSFER DETAIL @ LOW ROOF
SCALE: 3/4"=1'-0"



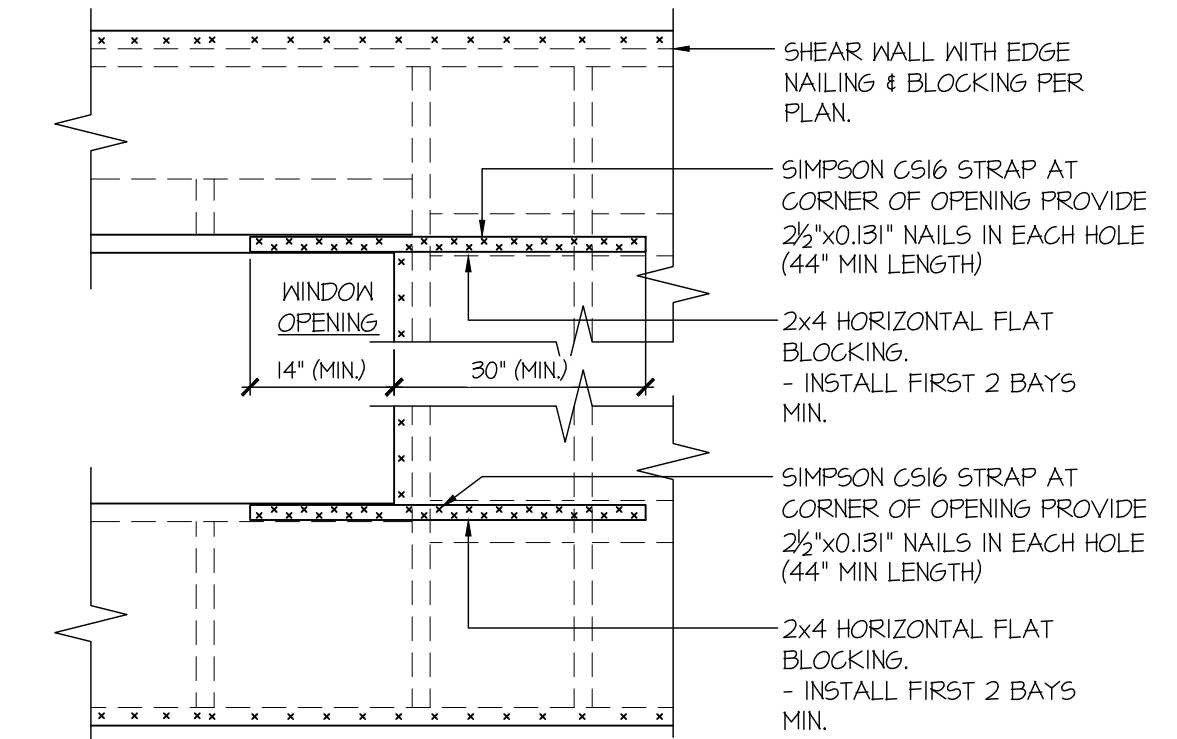
- NOT REQUIRED WHERE PORTAL FRAMES ARE SPECIFIED (SEE PLANS).
- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS

92 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS



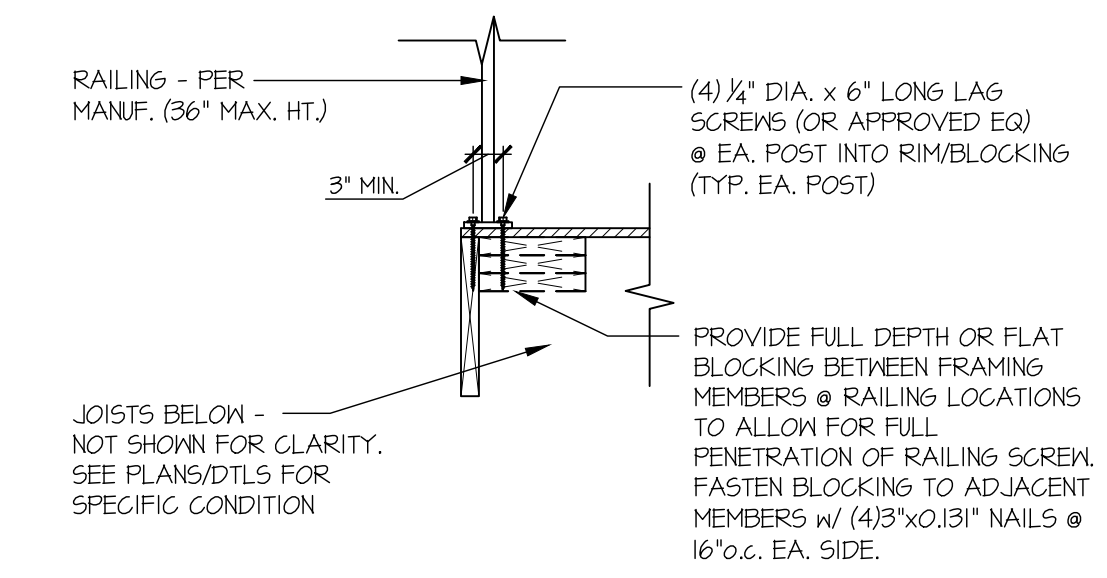
- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

93 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS

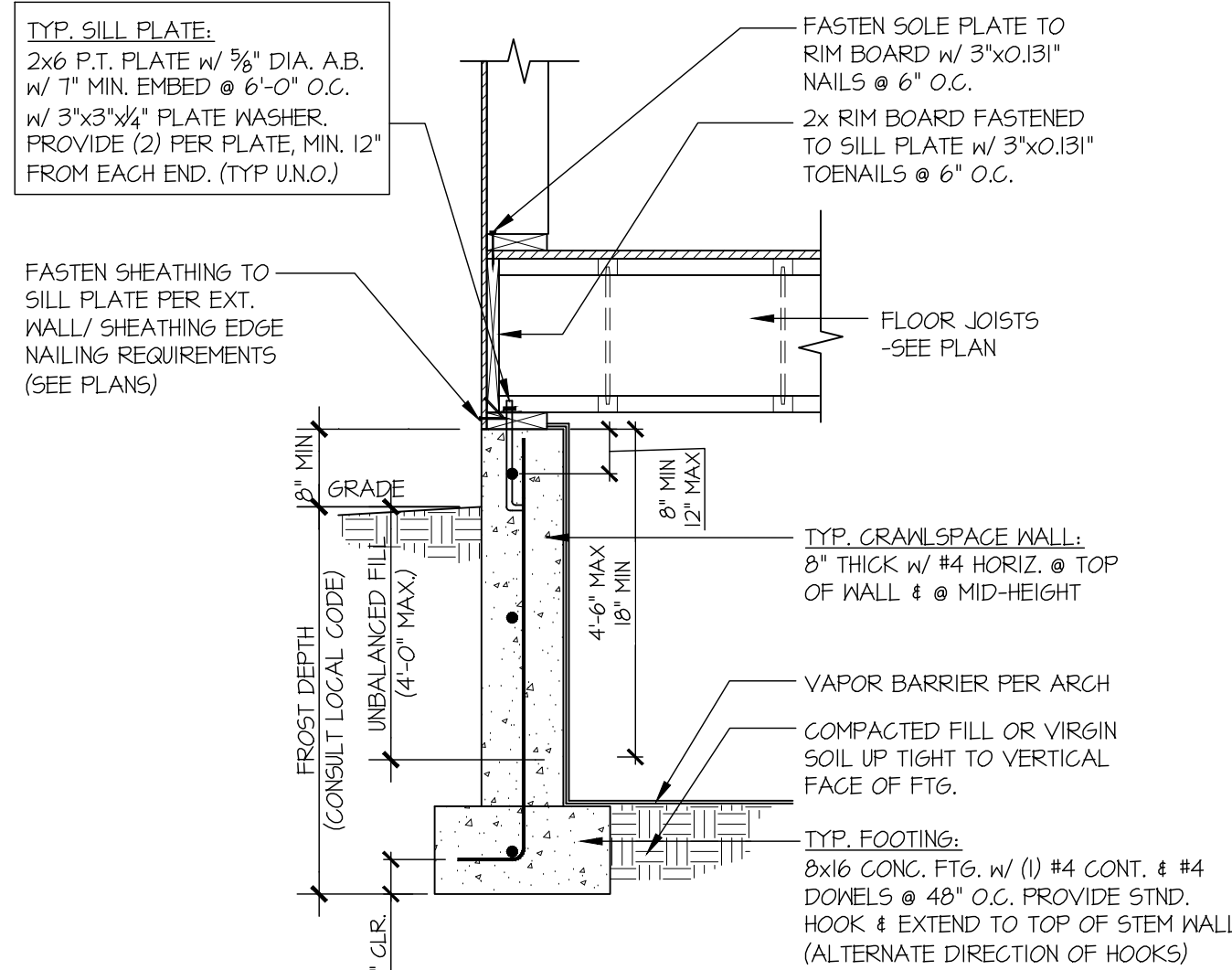


- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

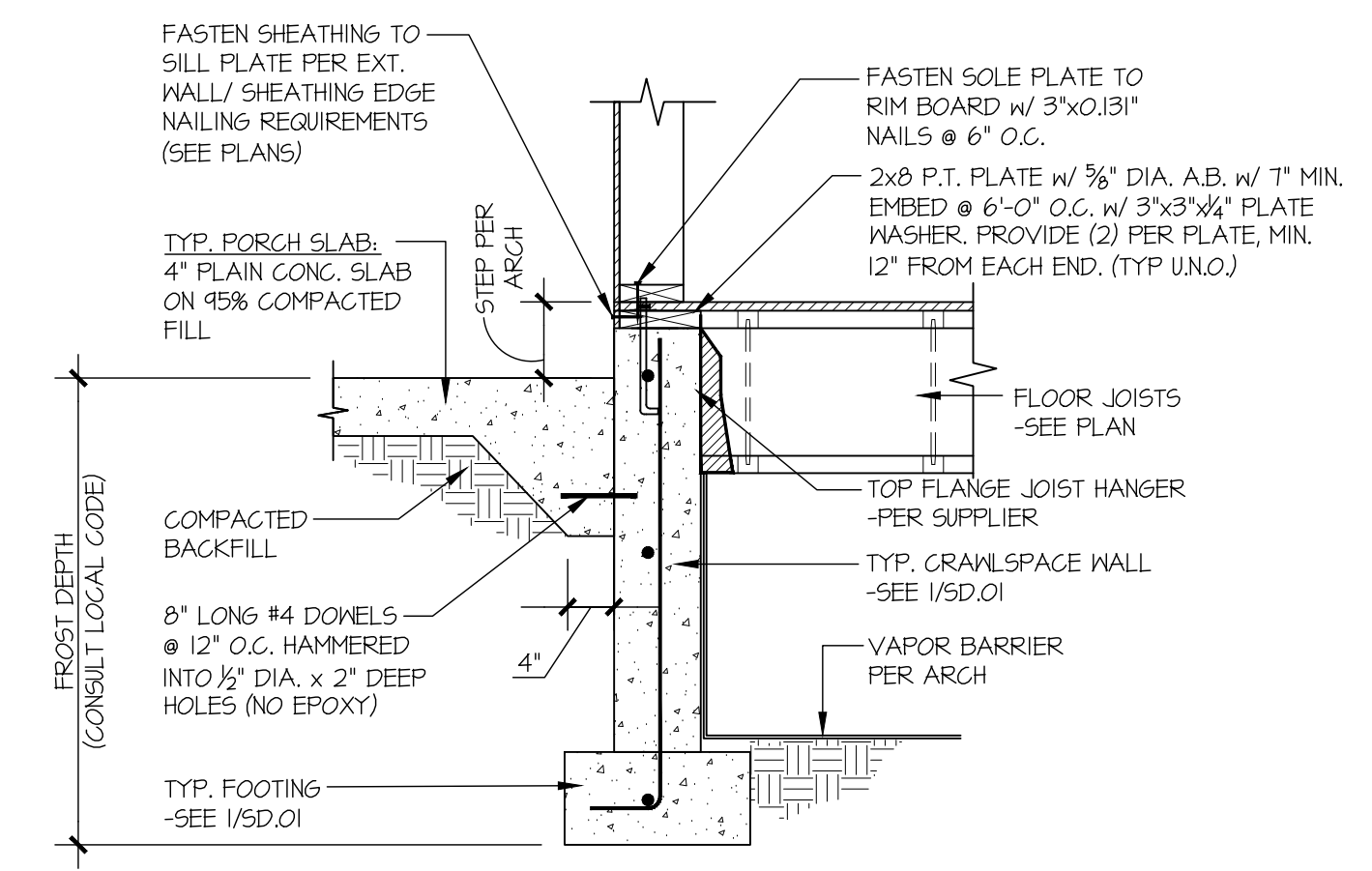
94 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS



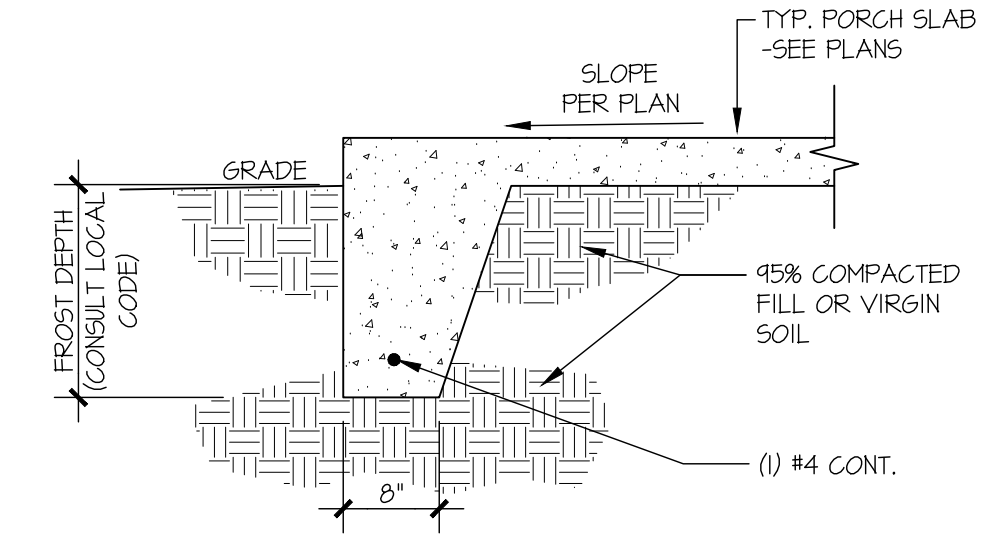
A TYP. RAILING CONNECTION
SCALE: 3/4"=1'-0" WOOD FRMS BELOW



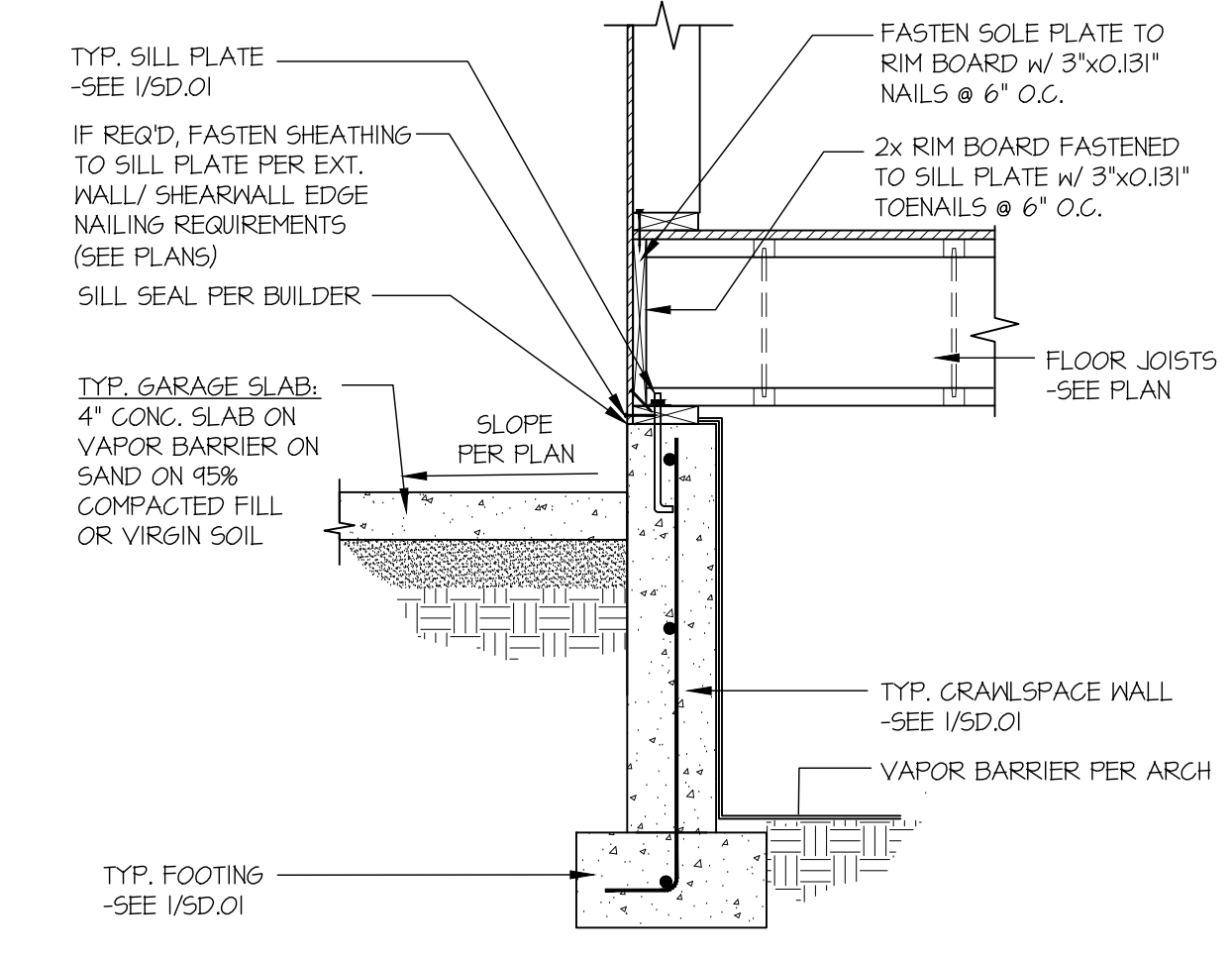
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/4"=1'-0"



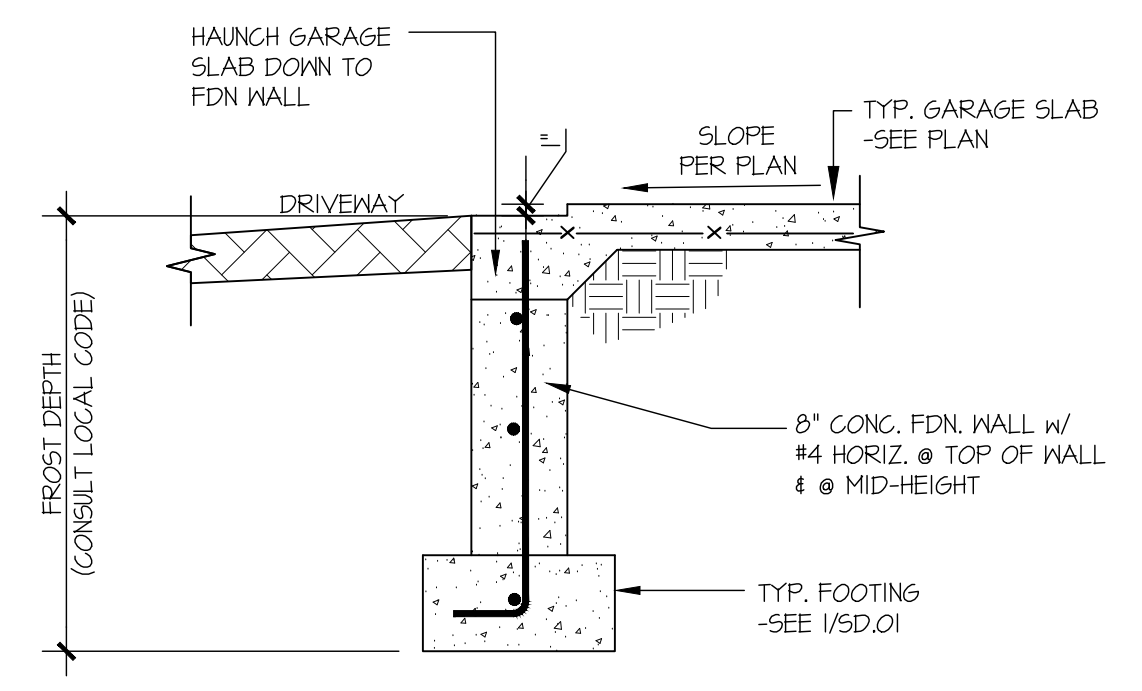
2 TYPICAL CRAWLSPACE FOUNDATION @ PORCH SLAB
SCALE: 3/4"=1'-0"



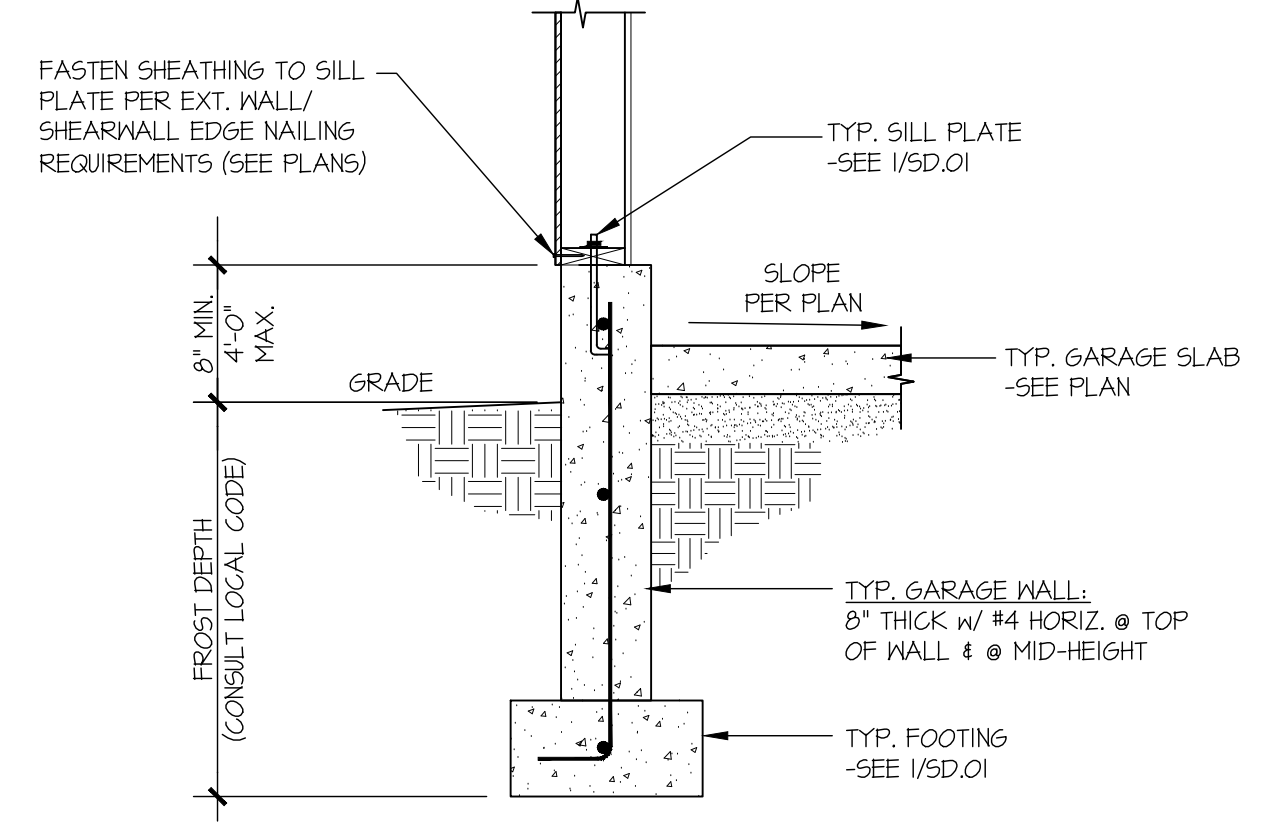
3 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/4"=1'-0"



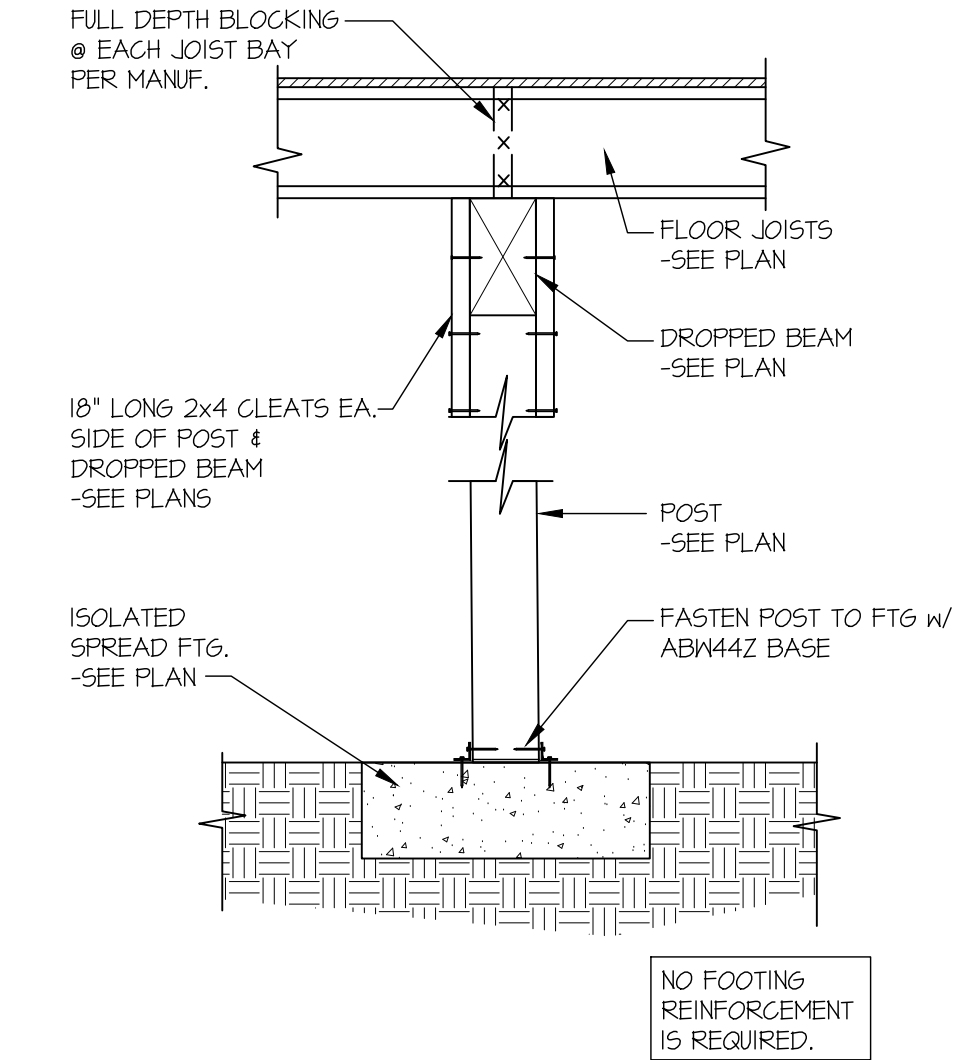
4 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE
SCALE: 3/4"=1'-0"



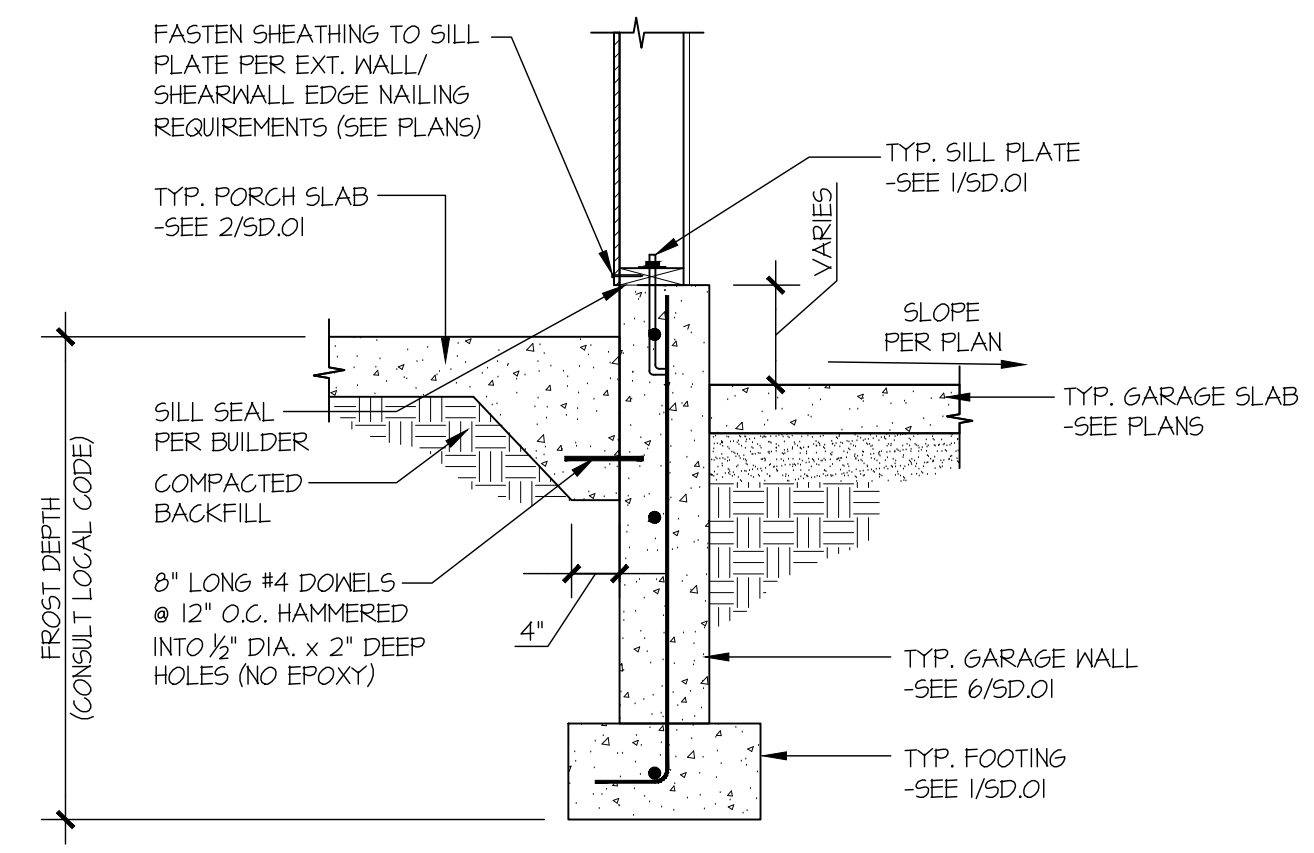
5 TYPICAL CONCRETE FOOTING @ GARAGE DOOR OPENING
SCALE: 3/4"=1'-0"



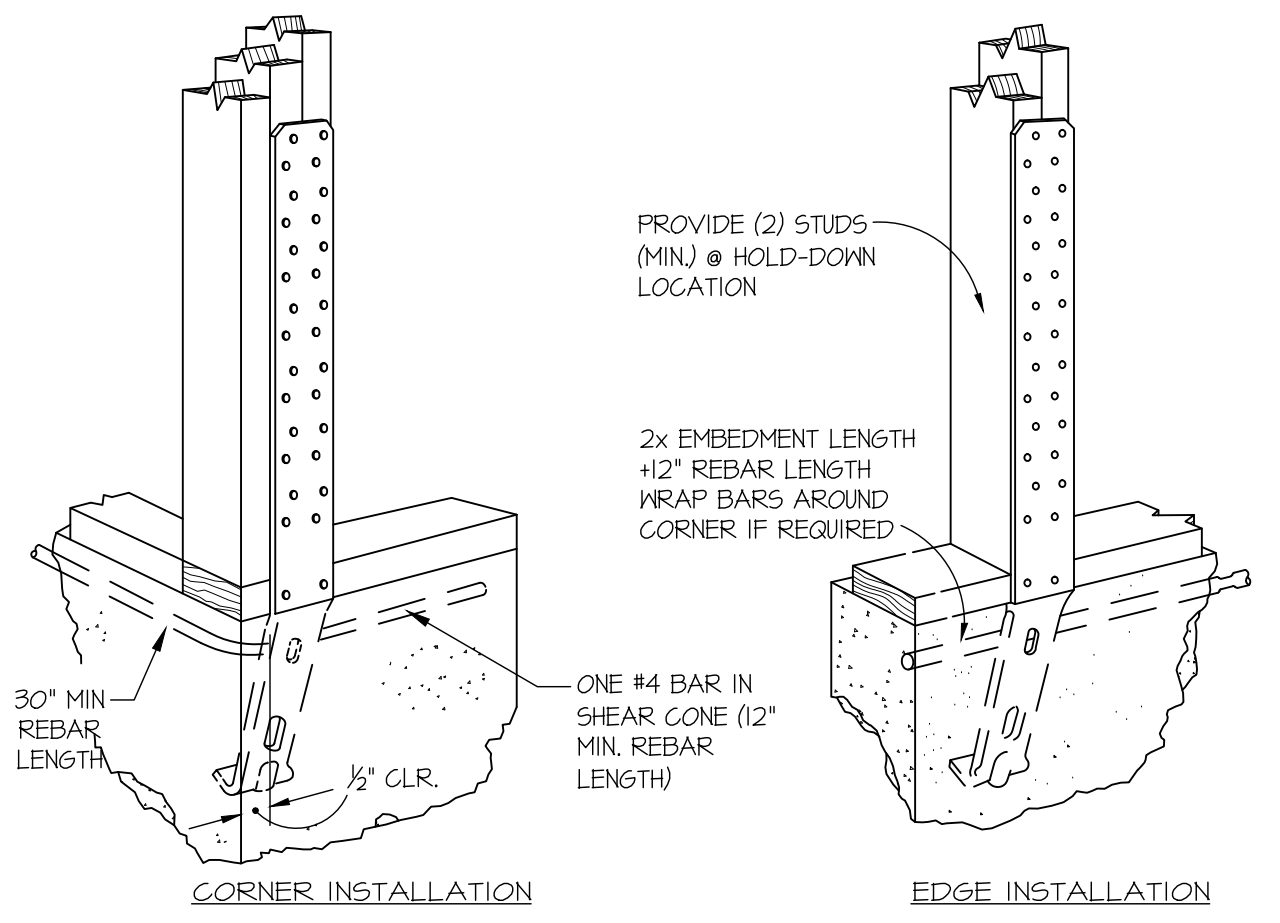
6 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"



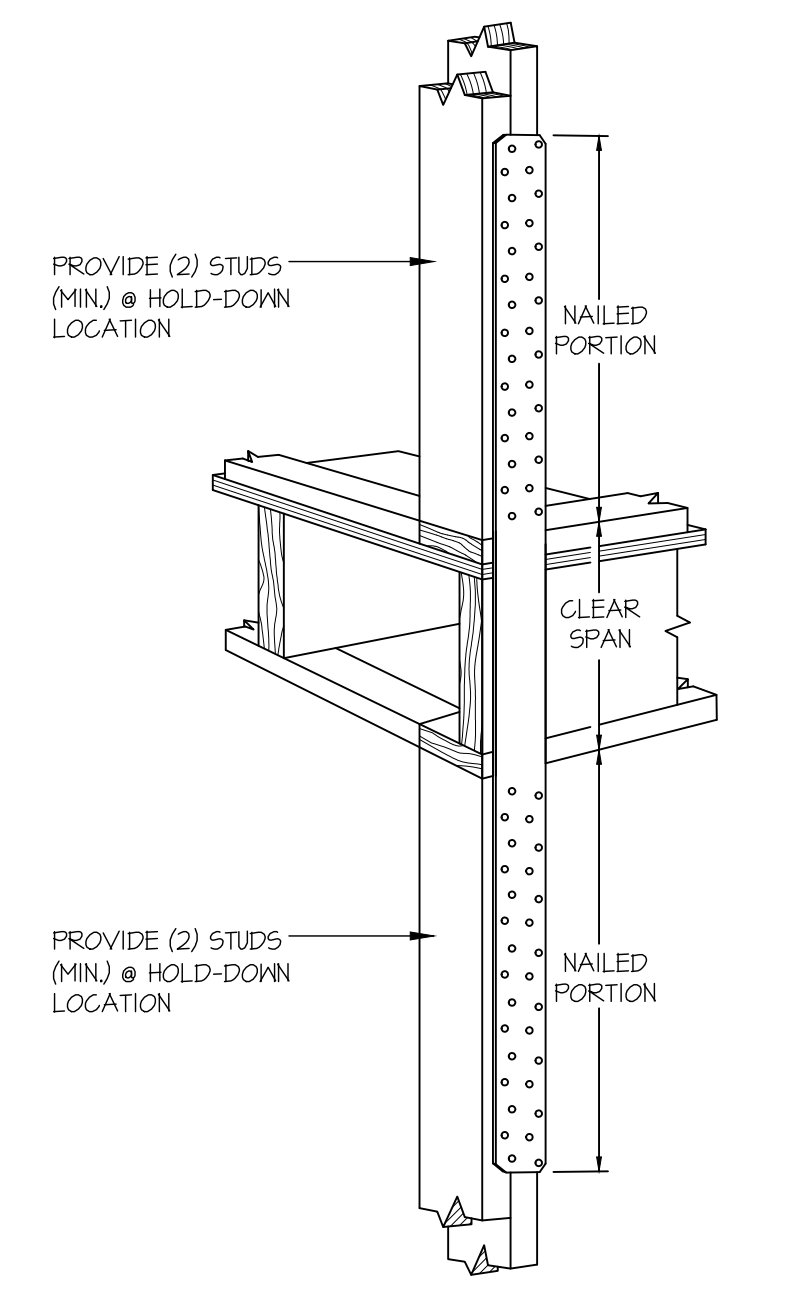
7 TYPICAL CRAWL SPACE FOOTING DETAIL
SCALE: 3/4"=1'-0"



8 TYPICAL CRAWLSPACE FOUNDATION @ PORCH SLAB
SCALE: 3/4"=1'-0"



A TYPICAL HOLD-DOWN INSTALLATION
NOT TO SCALE
SIMPSON STRAP HD @ FOUNDATION



C TYPICAL HOLD-DOWN INSTALLATION
NOT TO SCALE
SIMPSON STRAP HD @ FLOOR FRAMING



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project mgr: **NJM**
drawn by: **AJC**
issue date: **09-05-25**

REVISIONS:
date: initial:



STRUCTURAL DETAILS
4526 89TH AVE SE
MERCER ISLAND, WASHINGTON

sheet:
SD.01



Vertical wall Installation

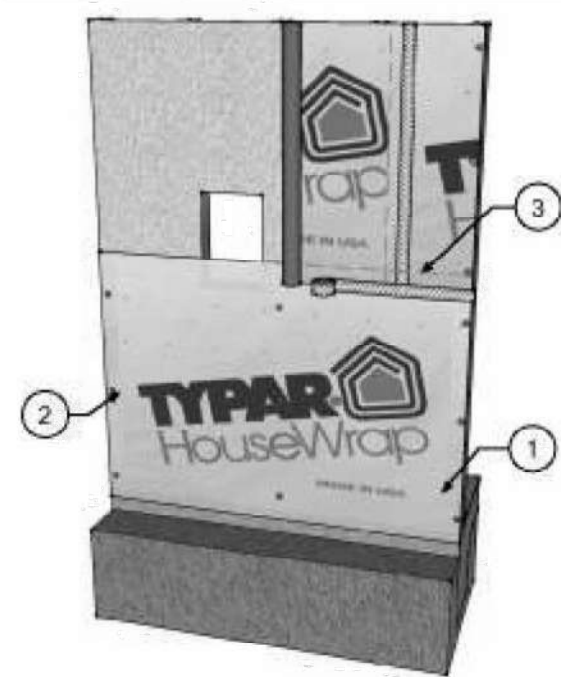
Install TYPAR® HouseWrap over an approved exterior sheathing after the framing is complete and before the windows and doors have been installed. Plastic capped fasteners should be used and spaced at 32" OC (vertically and horizontally) when being applied over 7/16" OSB or 15/32" plywood. When installing over metal framing use screws with washers. If the windows and doors have already been installed, trim the TYPAR WRB close to the window frame and flash according to the TYPAR Flashing instructions.

STEP 1

Start at the bottom of one end of the wall with the printed side facing out. When starting at a corner, overlap by a minimum of 12".

Place the housewrap roll horizontally and roll out the first course evenly, covering rough window and door openings. A minimum of a 1" (25.4 mm) overlap on the sill plate is required; however, for maximum protection, a 2-4" (51-102 mm) overlap on the sill plate is recommended.

Pull the TYPAR snug and avoid wrinkles and creases. Ensure that the product is level.



STEP 2

Fasten the TYPAR to the stud using plastic capped nails or plastic capped staples at 32" O.C. both horizontally and vertically.



STEP 3

The upper layer of TYPAR housewrap should overlap the bottom layer by a minimum of 6" (152 mm) vertically and horizontally. Ensure proper shingling throughout the installation to properly shed water. Once the structure is completely covered, tape all seams and penetrations using TYPAR® construction tape. (Please refer to the TYPAR® flashing instructions for more detailed instruction on penetrations and window flashing installation).

STEP 4

After the installation complete and before the exterior cladding is installed, inspect the TYPAR® for tears. Repair the issues with TYPAR Construction tape or TYPAR Flashing.



Window and Door Preparation

Preparing for Window Installation

STEP 1

After wrapping the structure and covering all rough openings. Cut a horizontal line across the top of the window opening. The cut should not extend past the rough opening.

STEP 2

Start at the top center and make a vertical cut running two-thirds of the way down the opening.

STEP 3

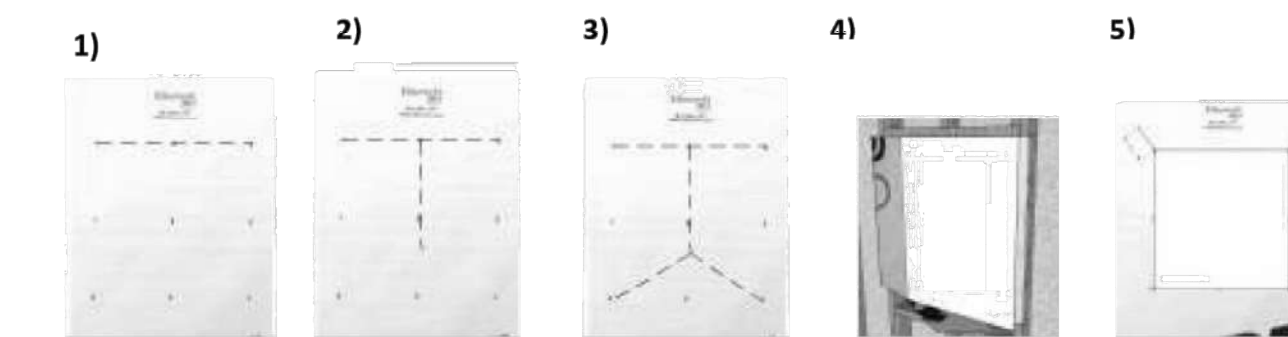
From that stopping point, cut diagonally to both lower left and right corners of the opening.

STEP 4

Pull each of the flaps tightly inside the rough opening and attach them to the frame with nails, staples, or tape.

STEP 5

At the window header, make a 6" diagonal cut at a 45 degree angle on both corners. Fold the material up exposing the sheathing. Now install the window or door according to the manufacturer instructions. The final step is to flash all seams and flanges securely (refer to TYPAR® Flashing instructions). TYPAR® flashing should also be installed in accordance with window manufacturer instructions and according to the ASTM 2112 standard.



Typical Window Flashing

STEP 1

Install the window sill pan according to the manufacturer's instructions. Alternatively, you can create a sill pan using TYPAR Flashing Flex. Cut a piece that is 12" longer than the length of the rough opening window sill.

Carefully pull off the release liner. Center the Flashing in the center of the rough opening and work you way toward the corners and then up the sides. Note: the flex flashing should overlap to the outside of the wall by 2-3". Only stretch the flashing in the corners.

Alternatively to above, you can create a sill pan by installing TYPAR Straight Flashing along the bottom sill and installing TYPAR Flashing Flex on the corners only.

If needed, secure the fanned edges of the TYPAR Flashing Flex with a plastic capped nail/ plastic capped staple.

STEP 2

Apply a continuous bead of sealant to the back of the window or on the wall. Do not apply the sealant across the bottom of the sill or on the bottom of the window. This area is left open to allow for proper drainage.

Install the window according to the manufacturer's installation instructions.

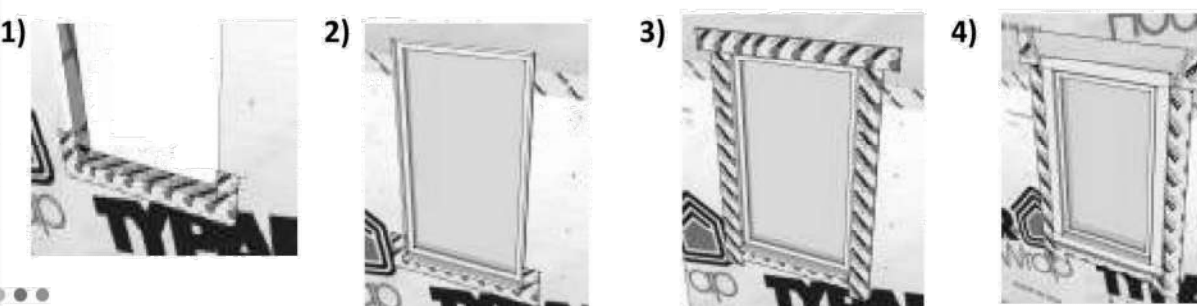
STEP 3

Cut two pieces of TYPAR Flashing long enough to extend 1" above the window head flange and 1" below the window sill flange. Carefully peel off the release liner and apply the flashing on both sides of the window. Make sure to cover the entire window flange, press firmly either by hand or using a J-roller. Ensure there are no wrinkles or bubbles.

Cut a piece of TYPAR Flashing for the head flashing. Ensure that the piece is long enough to extend by 1" on both sides of the jamb flashing. Remove the release liner and carefully install the flashing. Cover the window flange and press firmly by hand or using a J-roller.

STEP 4

Release the upper flap of the WRB that you cut earlier. Tape the 45 degree cuts using TYPAR Construction Tape or TYPAR Flashing. DO NOT tape the WRB along the top of the window flange.



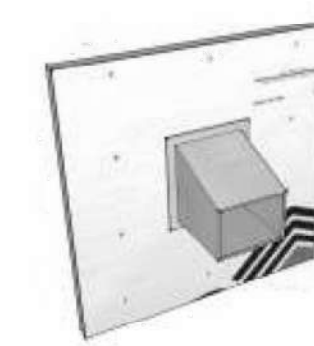
Flashing Penetrations

Penetrations such as exhaust fans, exterior electrical outlets, dryer vents, exterior lights, and gas outlets are a common entrance for bulk water into the wall cavity. Using TYPAR flashing will ensure proper water hold out and maintain the integrity of the structure.

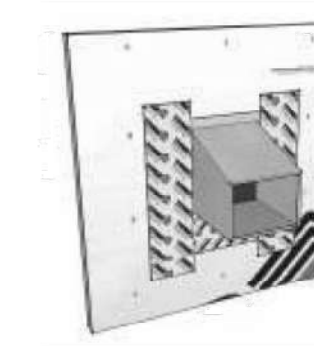
The method is similar to the flashing a window. Start by flashing the bottom of the penetration. Ensure to shingle the upper tape over the bottom tape.

Some penetrations have flanges, such as dryer vents. These penetrations should be flashed according to the details below.

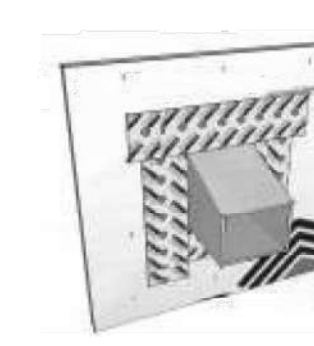
1)



2)



3)



STEP 1

Install the vent according to the manufacturer's recommendations. Trim the housewrap as close as possible around the perimeter of the vent.

STEP 2

Flash the vent using the same method as windows. Starting at the bottom flange; cut the flashing so that it extends past the flanges by 1" on both sides. Now apply the flashing to the sides of the vent. Remember to extend the flashing 1" on both top and bottom. Make sure to smooth out wrinkles and air bubbles. The use of a J-roller is optional.

STEP 3

The Final step is to install the flashing across the top. Extend the flashing out at least 1" on both sides.

Note: This type of installation is suitable for several different penetrations. Always use the shingling method and ensure a tight seal around the flange/penetration.

TYPAR® HouseWrap is part of a complete Weather Protection System, which also includes TYPAR® Metro Wrap, TYPAR® Flashings and Construction tape

For more information, visit www.Typar.com



MADE IN USA. ICC #ESR-1404 • CCMC #12884-R • CCMC #12892-R
Please visit typar.com for installation instructions and warranty information



7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

Issue Description	Issue Date	By

Job Number:

plan name: --
marketing name: --
plan number: --
mark sys. number: --

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC), or those of the local municipality then the current standards and requirements of each respectively shall govern.

The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC.

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Submittal Date

Sheet Title/Description

Design Firm

Drawn by:

Checked by:

Primary Scale

D1 of .

Sheet Title/Description

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
CALL BEFORE YOU DIG: 811

TREE PROTECTION AREA (TPZ)

KEEP OUT!

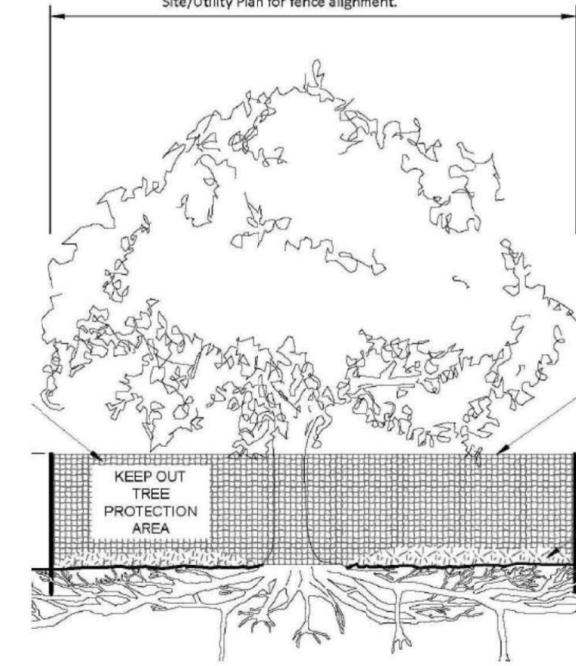
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports recommending mitigation

Notes

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MCC 19.10.160).
4. Any work in approved TPZ must be with the permission of the City Arborist (206) 275-7713, john.kennedy@mercergov.org.
5. 5" course woodchips within the tree protection zone, but not against the tree trunk.



Tree protection fence: 6' chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5' x 1.5' openings; color orange. Steel posts installed at 8' o.c.

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

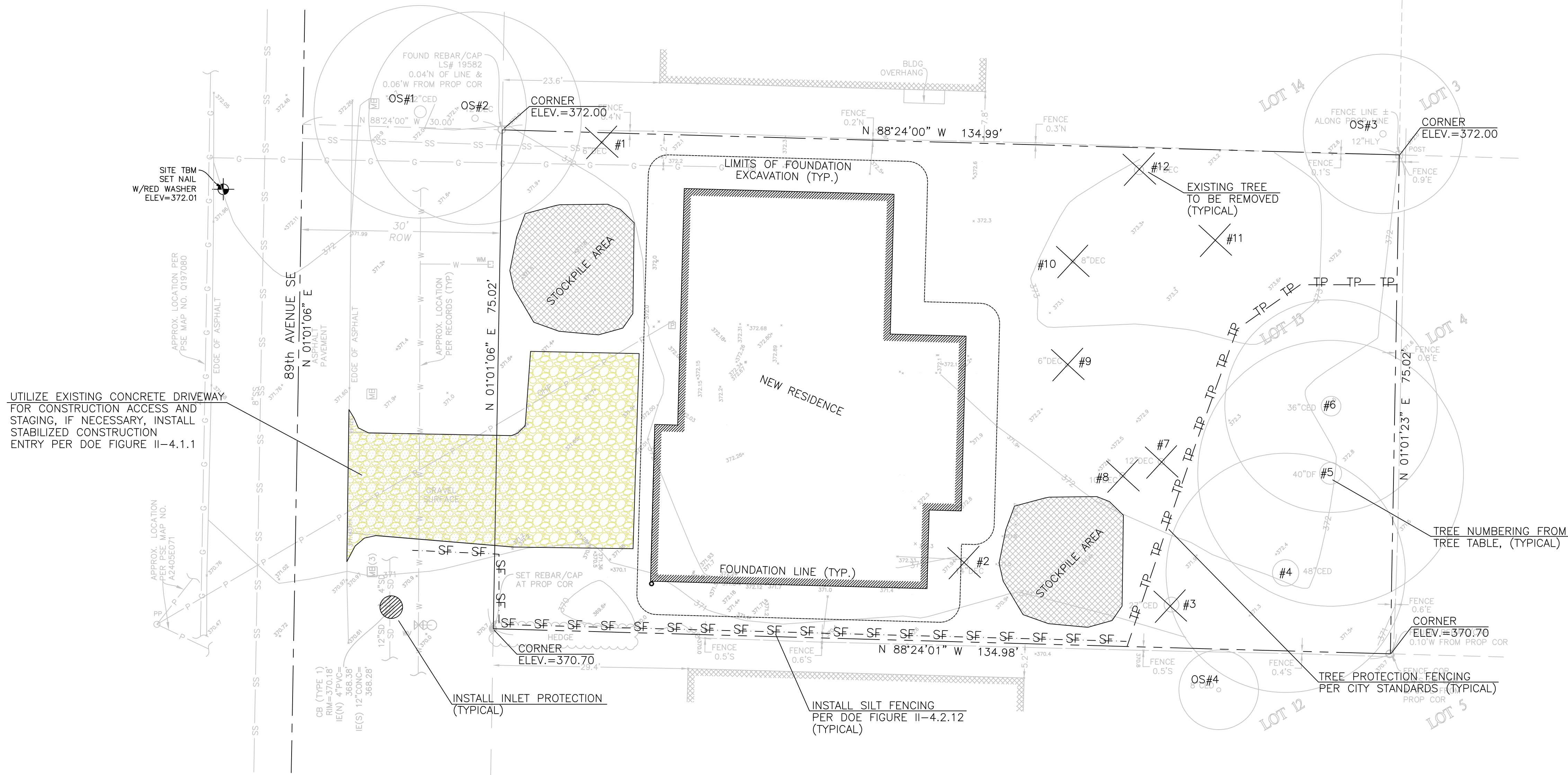
Any Work in the protected area must be with the permission of the City Arborist john.kennedy@mercergov.org

ONSITE		TREE TABLE					Limit of Development	
ID	Species	Dbh	Dripline	Classification	LOD	RETAIN	REMOVE	
1	Laurel	6"	18'	Not Significant	10'		yes	
2	Laurel	14"	18'	Significant	10'		yes	
3	Cedar	27"	18'	Significant	10'		yes	
4	cedar	48"	18'	Exceptional	10'	yes		
5	Douglas-fir	40"	18'	Exceptional	10'	yes		
6	Cedar	36"	18'	Exceptional	10'	yes		
7	Laurel	12"	18'	Significant	10'		yes	
8	Laurel	10"	18'	Significant	10'		yes	
9	Laurel	6"	18'	Not Significant	10'		yes	
10	Laurel	8"	18'	Not Significant	10'		yes	
11	Laurel	6"	18'	Not Significant	10'		yes	
12	Laurel	17"	18'	Significant	10'		yes	

OFFSITE							
OS#1	Cedar	22"	34'	N/A	14'		
OS#2	Laurel	7"	16'	N/A	14'		
OS#3	English Holly	10"	18'	N/A	10'		
OS#4	Cedar	10"	18'	N/A	10'		

LEGEND

- ACU AIR CONDITION UNIT
- AD AREA DRAIN
- AS ASPHALT SURFACE
- B BUILDING
- CR CENTERLINE ROW
- CS CONCRETE SURFACE
- RW RETAINING WALL
- EE ELECTRICAL EASEMENT
- D DECK
- FL FENCE LINE (WOOD)
- GL GAS LINE
- GM GAS METER
- HR HOSE BIB RISER
- HL HEDGE FOLIAGE LINE
- I1 INLET (TYPE 1)
- I2 INLET (TYPE 1) (SOLID)
- MC MONUMENT IN CASE (FOUND)
- PS PAVEMENT SURFACE
- P POST
- PM POWER METER
- PO POWER (OVERHEAD)
- PL POWER POLE W/ LIGHT
- RC REBAR AS NOTED (FOUND)
- RCB REBAR & CAP (SET)
- R ROCKERY
- SL SEWER LINE
- SM SEWER MANHOLE
- SD STORM DRAIN LINE
- TL TREE (AS NOTED)
- WL WATER LINE
- WM WATER METER



REV. NO.	DATE	DESCRIPTION
09/15/2025		

OFFE ENGINEERS
13932 SOUTHEAST 199TH PLACE
RENTON, WA 98058
PHONE: 425-260-3412
CONTACT: DARRELL OFFE, P.E.

OE

CHECKED BY: DLO
DRAWN BY: SL\$
DESIGNED BY: DLO

PROJECT 4526 89th Avenue SE

CLIENT JayMarc Homes, Inc.

SHEET CONTENT Stormwater Site Plan

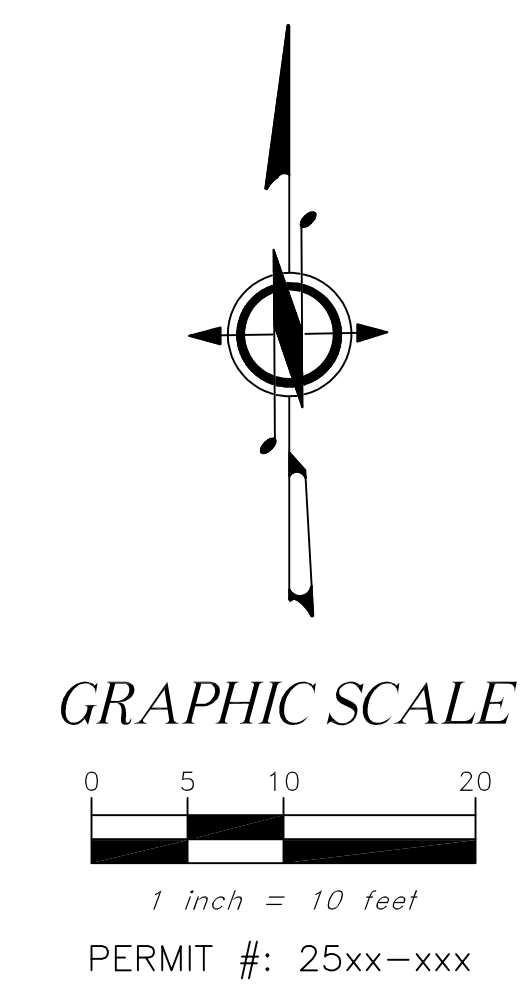
DATE 09/15/2025

JOB NO.

DWG NO.

SHEET 1 OF 4

PERMIT #: 25xx-xxx



EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
CALL BEFORE YOU DIG: 811

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5	Douglas-fir	40"	18'	Exceptional	10'	yes
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11	Laurel	6"	18'	Not Significant	10'	yes
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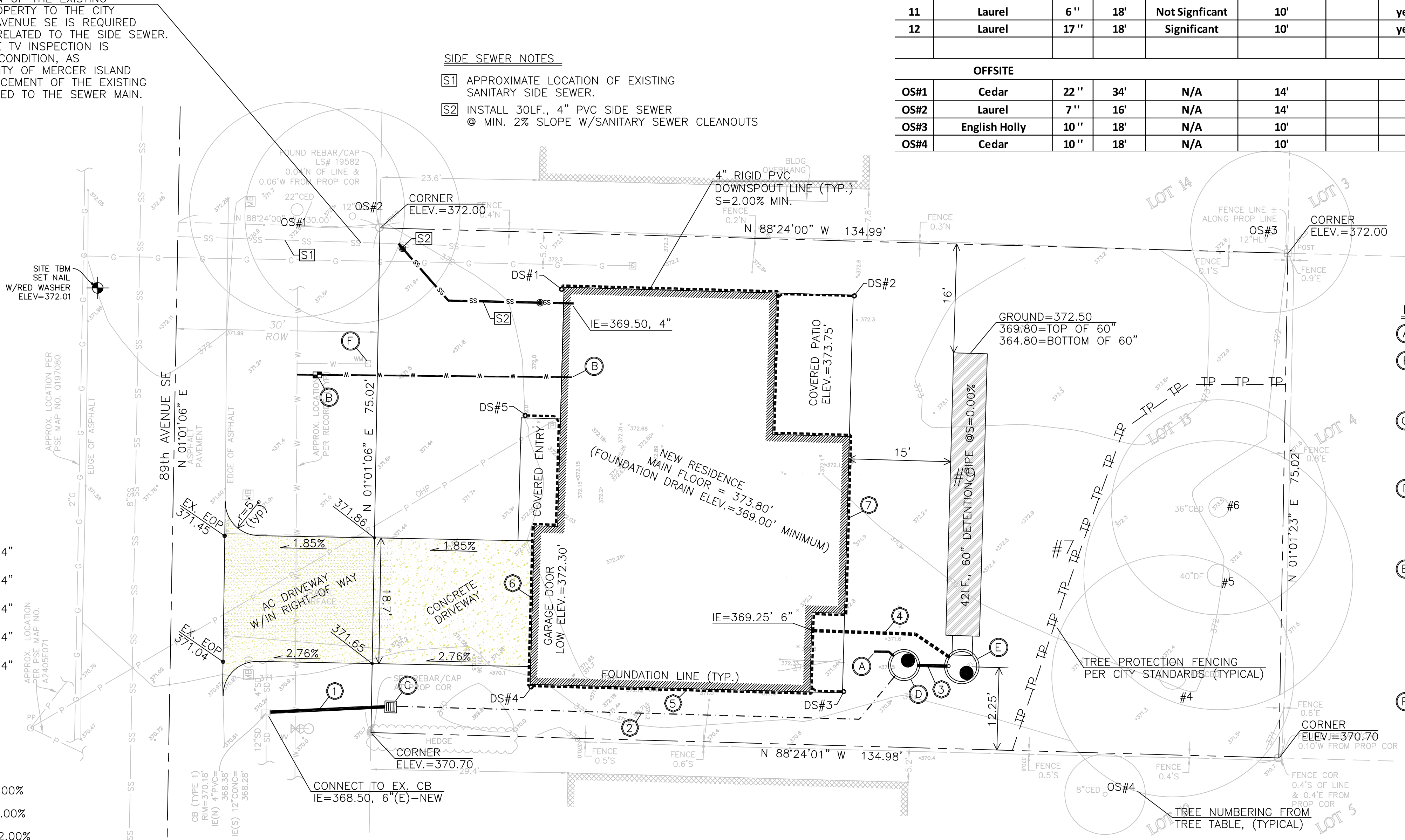
OFFSITE						
OS#	Species	Dbh	Dripline	Classification	Limit of Development LOD	RETAIN REMOVE
OS#1	Cedar	22"	34'	N/A	14'	
OS#2	Laurel	7"	16'	N/A	14'	
OS#3	English Holly	10"	18'	N/A	10'	
OS#4	Cedar	10"	18'	N/A	10'	

LEGEND

ACU	AIR CONDITION UNIT	MONUMENT IN CASE (FOUND)	
AD	AREA DRAIN	PAVER SURFACE	
AS	ASPHALT SURFACE	POST	
B	BUILDING	PST	POWER METER
CL	CENTERLINE ROW	PO	POWER (OVERHEAD)
CS	CONCRETE SURFACE	PP	POWER POLE W/ LIGHT
RW	RETAINING WALL	RC	REBAR AS NOTED (FOUND)
EE	ELECTRICAL EASEMENT	RC	REBAR & CAP (SET)
D	DECK	RO	ROCKERY
FL	FENCE LINE (WOOD)	SL	SEWER LINE
GL	GAS LINE	SM	SEWER MANHOLE
GM	GAS METER	SD	STORM DRAIN LINE
HR	HOSE BIB RISER	ST	TREE (AS NOTED)
HL	HEDGE FOLIAGE LINE	WL	WATER LINE
IN	INLET (TYPE 1)	WM	WATER METER
IN	INLET (TYPE 1) (SOLID)		

NOTE: A TV INSPECTION OF THE EXISTING SIDE SEWER FROM PROPERTY TO THE CITY SEWER MAIN IN 89th AVENUE SE IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED TO THE SEWER MAIN.

SIDE SEWER NOTES
 [S1] APPROXIMATE LOCATION OF EXISTING SANITARY SIDE SEWER.
 [S2] INSTALL 30LF., 4" PVC SIDE SEWER @ MIN. 2% SLOPE W/SANITARY SEWER CLEANOUTS



DOWNSPOUT TABLE

DS#1	GROUND=372.00 DOWNSPOUT LINE=371.25, 4"
DS#2	GROUND=372.00 DOWNSPOUT LINE=371.00, 4"
DS#3	GROUND=372.00 DOWNSPOUT LINE=371.00, 4"
DS#4	GROUND=372.00 DOWNSPOUT LINE=370.27, 4"
DS#5	GROUND=372.00 DOWNSPOUT LINE=371.25, 4"

STORM PIPE TABLE

1	18LF., 6" D.I. @ S=2.00%
2	78LF., 2" PVC FORCEMAIN
3	5LF., 6" PVC SDR-35 @ S=6.00%
4	22LF., 6" PVC SDR-35 @ S=2.00%
5	51LF., 4" PVC SDR-35 @ S=2.00%
6	49LF., 4" PVC SDR-35 @ S=2.00%
7	100LF., 4" PVC SDR-35 @ S=2.00%

- NOTES:**
- (A) 4" FOUNDATION DRAIN CONNECTION
 - (B) INSTALL 1-1/2" METER AND 2" SERVICE LINE PER CITY OF MERCER ISLAND STANDARD PLAN W-14.
NOTE: CONTRACTOR TO COORDINATE FINAL LOCATION OF NEW METER WITH CITY OF MERCER ISLAND INSPECTOR AT TIME OF CONSTRUCTION
 - (C) CB#1, TYPE 1 W/SOLID FRAME & LID RIM=370.80 IE=269.00, 2"(E)-FORCEMAIN IE=268.90, 6"(W)
 - (D) CB#2, TYPE II-48", PUMP STRUCTURE RIM=372.00 IE=368.00, 4"(FOUNDATION DRAIN) IE=369.25, 2"(W)-FORCEMAIN IE=365.00, 6"(E) INSIDE FLOOR 48"=363.00
 - (E) CB#3, CONTROL STRUCTURE, TYPE II-54" (SEE DETAIL ON SHEET 3 OF 4) W/SOLID LOCKING LID RIM=372.00 TOP=369.80, 8"(TOP OF RISER) IE=369.60, 2"(N)-VENT IE=368.80, 6"(NW)-DOWNSPOUT LINE IE=365.30, 6"(W), 36"(N) BOTTOM=363.30, 8"(BOTTOM OF RISER) INSIDE FLOOR 54"=361.30
 - (F) ABANDON EXISTING WATER METER AND SERVICE

- PUMP STATION NOTES:**
- (1) Pump systems shall be owned, operated, maintained, repaired, and replaced (as needed) by property owner(s) served by such system.
 - (2) The pump system shall have dual, alternating pumps with emergency on-site, back-up power supply and an external alarm system for system failures.
 - (3) It is the sole responsibility of the home owner(s) if a flood or sewer backup occurs due to the failure of the pump system.
 - (4) It is the responsibility of the home owner(s) to provide an adequate and functional backup system for the pump system in the event of a power failure.

NOTE: 4" PERFORATED FOUNDATION DRAIN REQUIRED BUT NOT SHOWN ON PLAN, CONNECT WHERE SHOWN ON PLAN INTO CB#2.

STORM PIPE PVC SHALL BE SDR-35 PVC AT SLOPE=2.00% MINIMUM (TYPICAL) UNLESS OTHERWISE NOTED

NOTE: CONNECT 4" FOUNDATION DRAIN AT LOCATION SHOWN ON PLANS - ONLY!

NOTE: THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

IMPERVIOUS SURFACES (NEW PLUS REPLACED):
 ROOF AREA (UNDER EAVES) = 2,722 SQ. FT.
 UNCOVERED DRIVEWAY AREA = 868 SQ. FT.
 TOTAL IMPERVIOUS AREAS = 3,590 SQ. FEET

GRAPHIC SCALE

OFFE ENGINEERS
 13925 SOUTHEAST 199TH PLACE
 RENTON, WA 98058
 PHONE: 425-260-3412
 CONTACT: DARRELL OFFE, P.E.

JayMarc Homes, Inc.
 Stormwater Site Plan

PROJECT: 4526 89th Avenue SE
 CLIENT: JayMarc Homes, Inc.
 SHEET CONTENT: Stormwater Site Plan

DATE: 09/15/2025
 JOB NO.:
 DWG NO.:
 SHEET: 2 OF 4

CHECKED BY: DLO
 DESIGNED BY: DLO
 DRAWN BY: SLS
 REV. NO.:
 DATE:

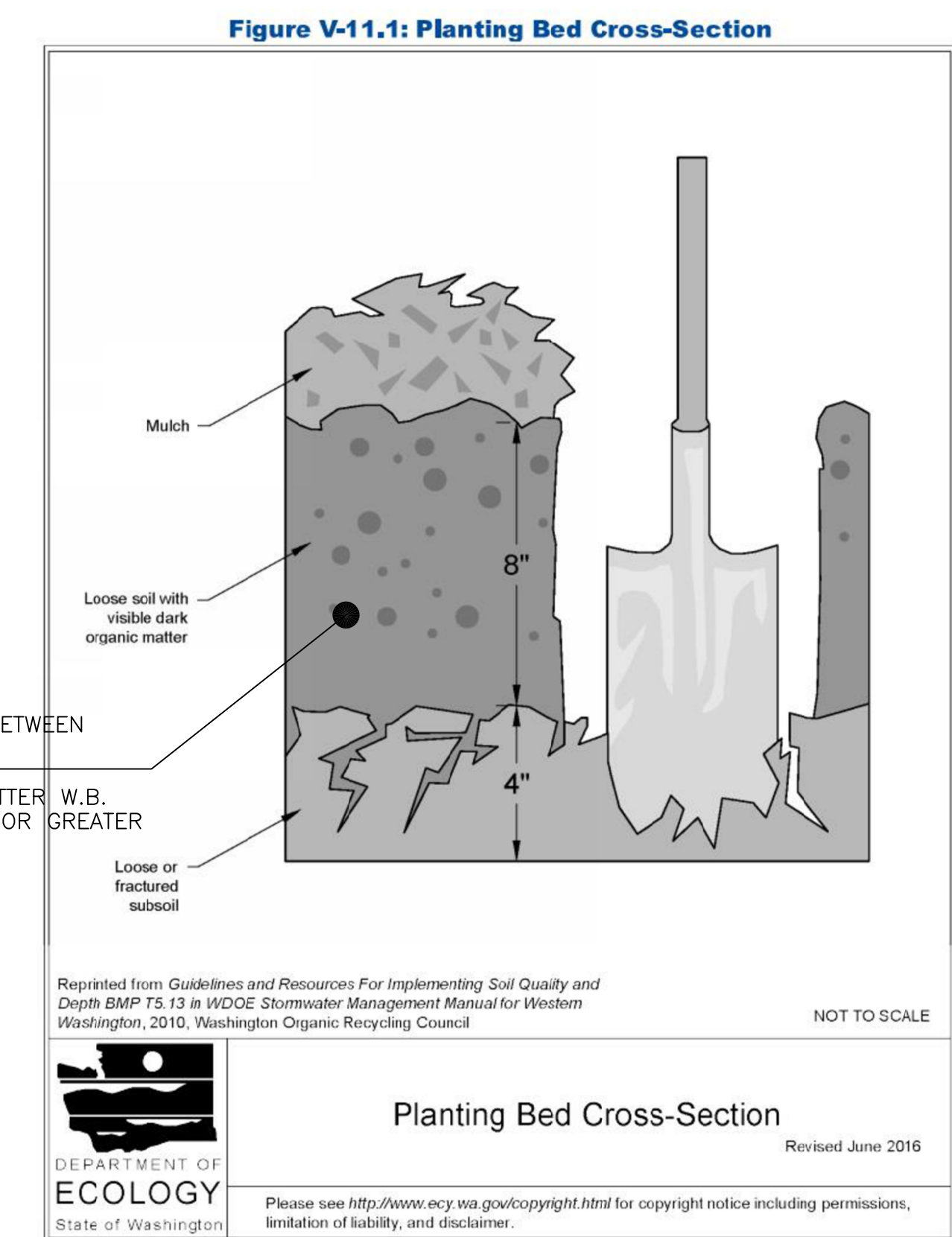
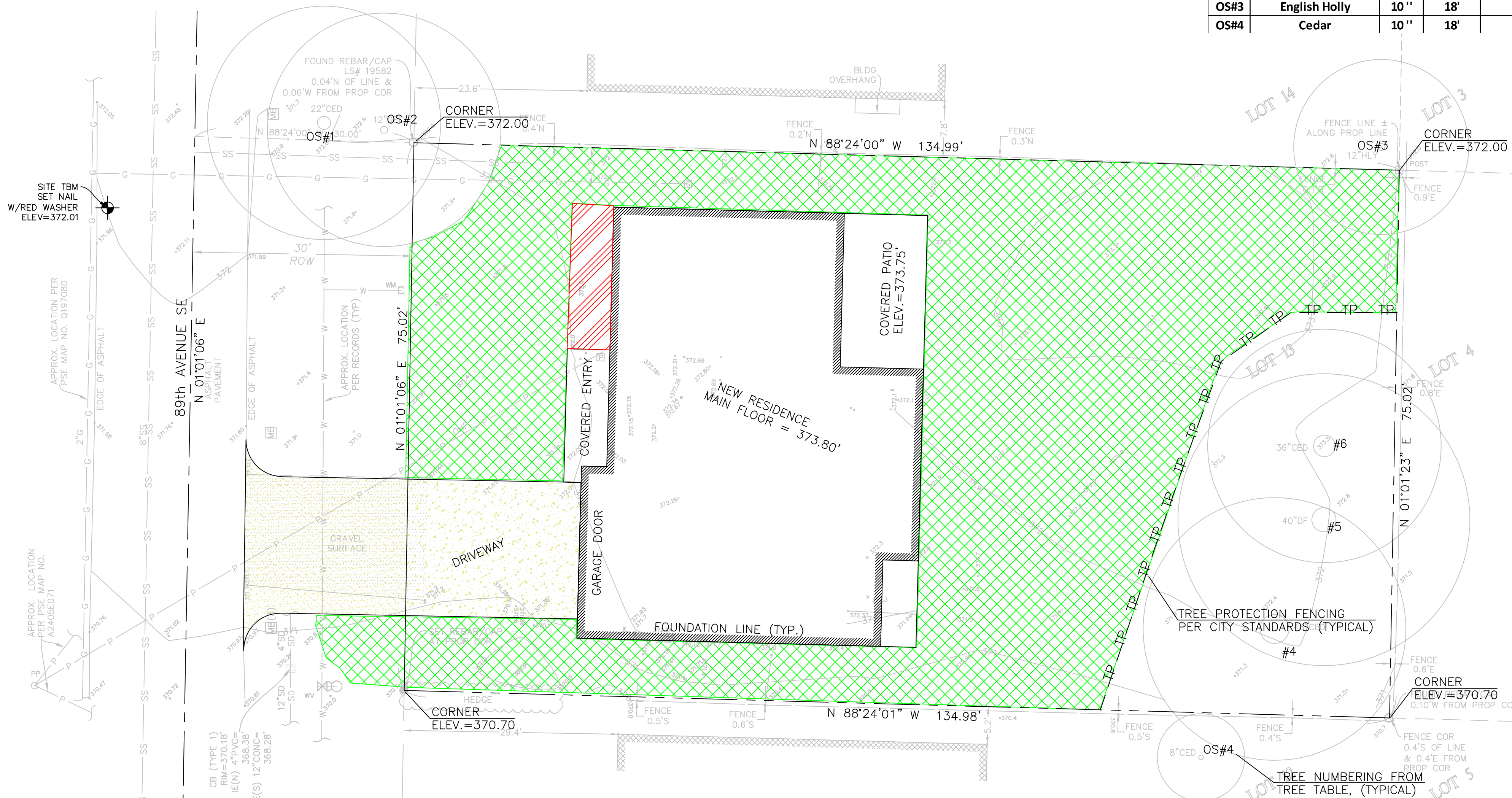
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CALL BEFORE YOU DIG: 811

LEGEND

- ACU □ AIR CONDITION UNIT
- AD □ AREA DRAIN
- ASPH SURF ASPHALT SURFACE
- BUILDING
- CLR ROW CENTERLINE ROW
- CONC SURF CONCRETE SURFACE
- RET WALL RETAINING WALL
- ELEC EASEM ELECTRICAL EASEMENT
- DECK
- FENCE LINE (WOOD)
- GAS LINE
- GAS METER
- HOSE BIB RISER
- HEDGE FOLIAGE LINE
- INLET (TYPE 1)
- INLET (TYPE 1) (SOLID)
- MONUMENT IN CASE (FOUND)
- PAVER SURFACE
- POST
- PWR MTR POWER METER
- PWR (OVERHEAD)
- PWR POLE W/ LIGHT
- REBAR AS NOTED (FOUND)
- REBAR & CAP (SET)
- ROCKERY
- SEWER LINE
- SEWER MANHOLE
- STORM DRAIN LINE
- TREE (AS NOTED)
- WATER LINE
- WM WATER METER

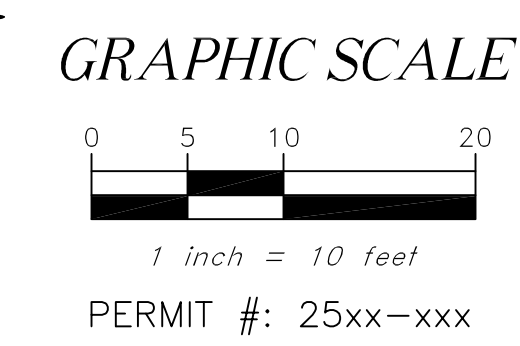
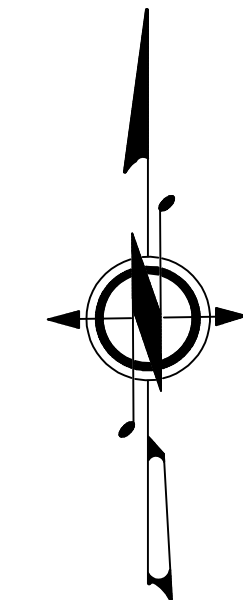


Reprinted from Guidelines and Resources For Implementing Soil Quality and Depth BMP TS.13 in WDOE Stormwater Management Manual for Western Washington, 2010, Washington Organic Recycling Council. NOT TO SCALE
DEPARTMENT OF ECOLOGY, State of Washington
Revised June 2016
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2019 Stormwater Management Manual for Western Washington
Volume V - Chapter 11 - Page 930

AMENDED SOIL MAP

- 5,114 SQUARE FEET – TURF AREA AMENDED 8" DEEP (126 CU. YDS.)
- 114 SQUARE FEET – PLANTER AREA AMENDED 6" DEEP (2.5 CU. YDS.)



REV. NO.	DATE	DESCRIPTION
09/15/2025		

OFFE ENGINEERS
13925 SOUTHEAST 199TH PLACE
RENTON, WA WASHINGTON 98058
PHONE: 425-260-3412
CONTACT: DARRELL OFFE, P.E.

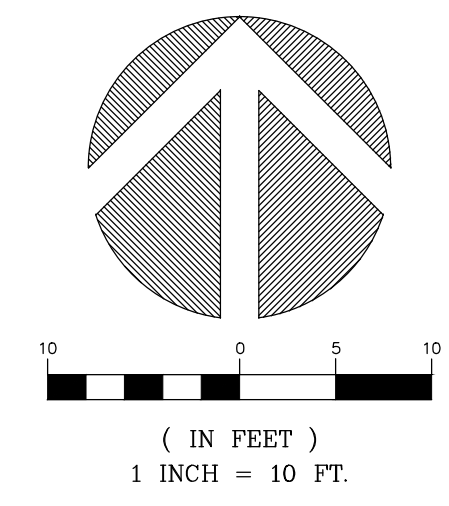
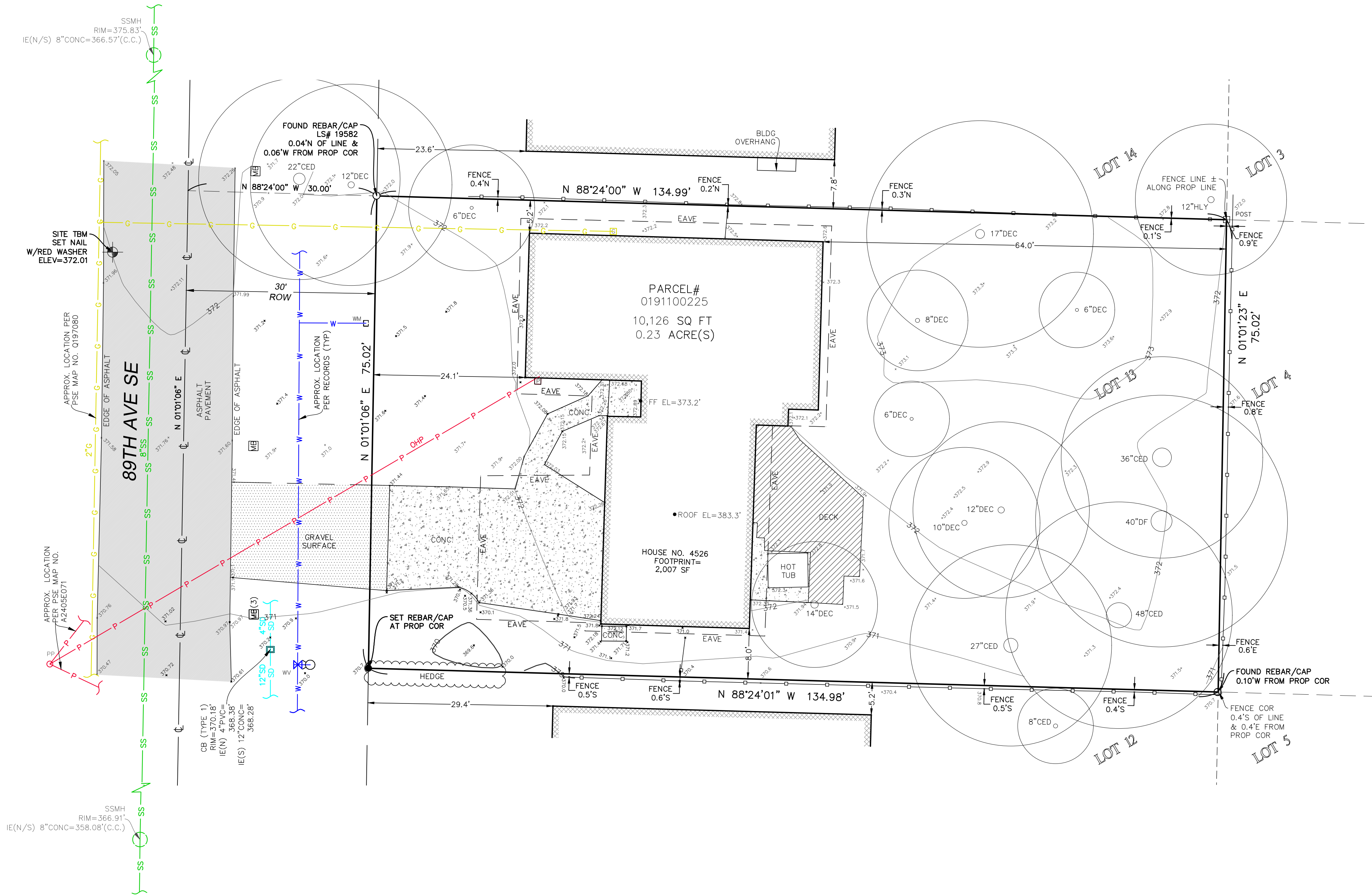
OE

CHECKED BY: DLO
DRAWN BY: SL\$
DESIGNED BY: DLO

PROJECT: 4526 89th Avenue SE
CLIENT: JayMarc Homes, Inc.
SHEET CONTENT: Amended Soil Plan

DATE: 09/15/2025
JOB NO.:
DWG NO.:
SHEET: 4 OF 4
PERMIT #: 25xx-xxx

TOPOGRAPHIC & BOUNDARY SURVEY

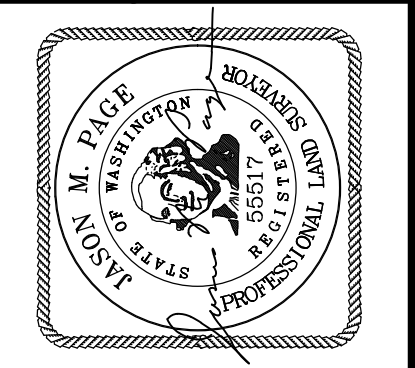


STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION	
	NE 1/4 SW 1/4 SECTION: 18 TOWNSHIP: 24N RANGE: 05E, W.M. COUNTY: KING

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 0191100225

JAYMARC HOMES PROJECT
 4526 89TH AVE SE
 MERCER ISLAND, WA 98040



TERRANE

11235 SE 6th St, Suite 130
 Bellevue, WA 98004
 p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	251445
DATE:	07/25/25
DRAFTED BY:	AJU
CHECKED BY:	JMP
SCALE:	1" = 10'

REVISION HISTORY	

SHEET NUMBER
 2 OF 2

We are the measure | terrane.net